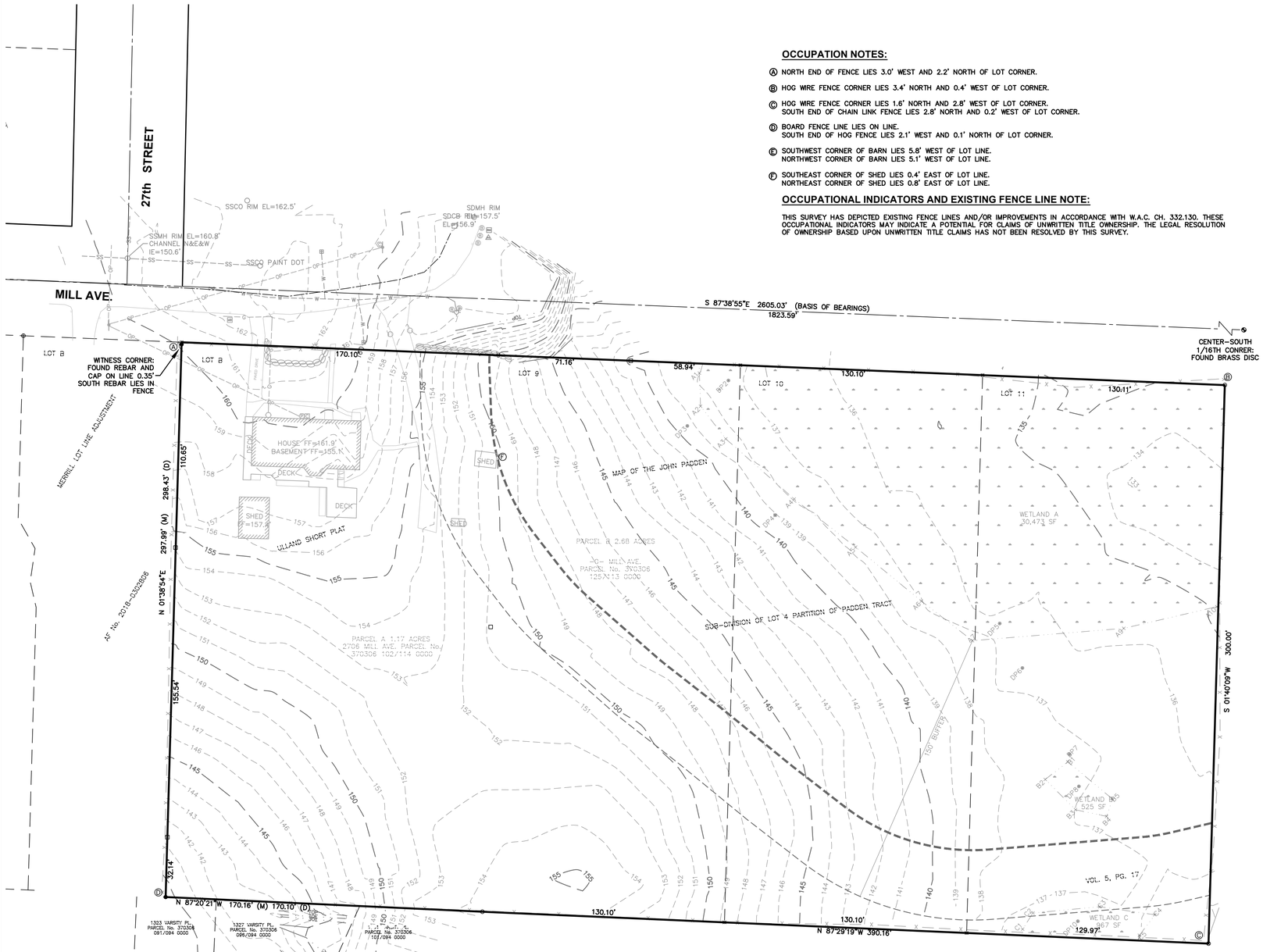



## OCCUPATION NOTES:

(A) NORTH END OF FENCE LIES 3.0' WEST AND 2.2' NORTH OF LOT CORNER.

(B) HOG WIRE FENCE CORNER LIES 3.4' NORTH AND 0.4' WEST OF LOT CORNER.

(C) HOG WIRE FENCE CORNER LIES 1.6' NORTH AND 2.8' WEST OF LOT CORNER.
SOUTH END OF CHAIN LINK FENCE LIES 2.8' NORTH AND 0.2' WEST OF LOT CORNER.

(D) BOARD FENCE LINE LIES ON LINE.
SOUTH END OF HOG FENCE LIES 2.1' WEST AND 0.1' NORTH OF LOT CORNER.

(E) SOUTHWEST CORNER OF BARN LIES 5.8' WEST OF LOT LINE.
NORTHWEST CORNER OF BARN LIES 5.1' WEST OF LOT LINE.

(F) SOUTHEAST CORNER OF SHED LIES 0.4' EAST OF LOT LINE.
NORTHEAST CORNER OF SHED LIES 0.8' EAST OF LOT LINE.

## OCCUPATIONAL INDICATORS AND EXISTING FENCE LINE NOTE:

THIS SURVEY HAS DEPICTED EXISTING FENCE LINES AND/OR IMPROVEMENTS IN ACCORDANCE WITH W.A.C. CH. 332-130. THESE OCCUPATIONAL INDICATORS MAY INDICATE A POTENTIAL FOR CLAIMS OF UNWRITTEN TITLE OWNERSHIP. THE LEGAL RESOLUTION OF OWNERSHIP BASED UPON UNWRITTEN TITLE CLAIMS HAS NOT BEEN RESOLVED BY THIS SURVEY.

N
W E
S

0 15 30 60
1 inch = 30 ft.

## LEGAL DESCRIPTIONS:

PARCEL A:

LOT B, LOT LINE ADJUSTMENT ULLAND SHORT PLAT, ACCORDING TO THE PLAT THEREOF, RECORDED NOVEMBER 6, 1986, UNDER AUDITOR'S FILE No. 155017, IN VOLUME 14 OF PLATS, PAGE 32, RECORDS OF WHATCOM COUNTY, WASHINGTON.

PARCEL B:

LOTS 9, 10 AND 11, BLOCK 1, MAP OF JOHN PADDEN, SUBDIVISION OF LOT 4, PARTITION OF PADDEN TRACT, A PART OF THE CONSOLIDATED CITY OF BELLINGHAM, WHATCOM COUNTY, WASHINGTON, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 5 OF PLATS, PAGE 17, RECORDS OF WHATCOM COUNTY, WASHINGTON.

ALL SITUATE IN WHATCOM COUNTY, WASHINGTON.

SUBJECT TO AND/OR TOGETHER WITH ALL EASEMENTS, COVENANTS, RESTRICTIONS AND/OR AGREEMENTS OF RECORD, OR OTHERWISE.

## WETLAND NOTE:

WETLANDS AND BUFFERS DELINEATED BY MILLER ENVIRNMENTAL SERVICES, L.L.C. IN NOVEMBER OF 2022 AND LOCATED BY THIS FIRM IN NOVEMBER OF 2022.

## SURVEYORS NOTES:

1. THIS SURVEY WAS PERFORMED BY STANDARD FIELD TRAVERSE USING A GEOMAX ZOOM90 TOTAL STATION WITH A CARLSON SURVEYOR 2 COLLECTOR/FIELD COMPUTER IN OCTOBER OF 2022 AND NOVEMBER OF 2023 ACCURACY EXCEEDS 1:10000.

2. THIS SURVEY TIED INTO STREET MONUMENTATION, CENTER-SOUTH 1/16TH CORNER, SOUTH 1/16TH CORNER AND LOT CORNERS AS SHOWN AND RELIED UPON FOUND MONUMENTATION FOR THE NORTH LINE OF THE SOUTH HALF OF THE SOUTHWEST QUARTER "MILL AVE." FOR BASIS OF BEARINGS.

3. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND DOES NOT PURPORT TO SHOW ANY OR ALL EASEMENTS THAT A CURRENT TITLE REPORT MIGHT REVEAL.

4. VERTICAL DATUM = NAVD 88

5. CONTOUR INTERVALS ARE 1 FOOT. CONTOURS ARE COMPUTER GENERATED FROM GROUND FIELD TOPOGRAPHY GATHERED FOR THIS SURVEY.

6. NORTHWEST SURVEYING & GPS INC. ASSUMES NO LIABILITY FOR ANY SUBSURFACE CONDITIONS OR UTILITIES NOT SHOWN HEREON. UNDERGROUND UTILITIES ARE KNOWN TO EXIST WITHIN THE AREA OF CONSTRUCTION. THE LOCATION OF EXISTING UTILITIES SHOWN ARE BASED UPON FIELD SURVEY AND VISUAL IDENTIFICATION. ALL EXISTING UTILITIES MAY NOT BE INDICATED WITHIN THE CONSTRUCTION DOCUMENTS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY ANY AND ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND TO ALERT THE ENGINEER AND OWNER PROMPTLY IN CASE OF CONFLICT.

## LEGEND

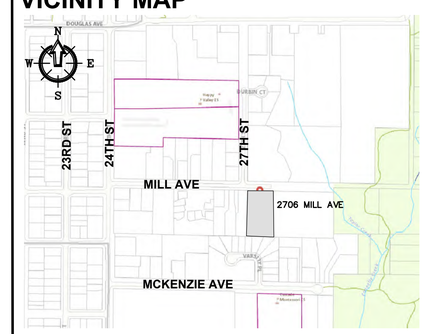
- = EXISTING STORM DRAIN CATCH BASIN (TYPE 1)
- = EXISTING STORM DRAIN CATCH BASIN (TYPE 2)
- = PROPOSED STORM DRAIN CLEANOUT
- = PROPOSED STORM DRAIN CATCH BASIN
- = PROPOSED STORM DRAIN MANHOLE (TYPE 2)
- = EXISTING SANITARY SEWER MANHOLE
- = EXISTING SANITARY SEWER CLEANOUT
- = EXISTING FIRE HYDRANT
- = EXISTING WATER VALVE

- FO = EXISTING FIBER OPTIC LINE
- P = EXISTING UNDERGROUND POWER
- OT = EXISTING OVERHEAD PHONE
- T = EXISTING UNDERGROUND PHONE
- OH = EXISTING OVERHEAD UTILITES (UNKNOWN)
- TV = EXISTING UNDERGROUND TV CABLE
- G = EXISTING GAS MAIN
- W = EXISTING WATER LINE
- S = EXISTING SANITARY SEWER LINE
- SFM = EXISTING SEWER FORCE MAIN
- >> = EXISTING FLOW LINE & DIRECTION
- D = EXISTING STORM DRAIN LINE
- SD = PROPOSED STORM DRAIN LINE (SOLID WALL)
- W = PROPOSED WATER LINE
- SS = PROPOSED SANITARY SEWER LINE
- >> = PROPOSED DITCH
- TOP = EXISTING TOP OF BANK
- TOE = EXISTING TOE OF BANK
- 10 = EXISTING CONTOUR (INDEX)
- 11 = EXISTING CONTOUR (NORMAL)
- 10 = PROPOSED CONTOUR (INDEX)
- 11 = PROPOSED CONTOUR (NORMAL)
- = PROPOSED ASPHALT PAVEMENT
- = PROPOSED CONCRETE SURFACING

## SHEET INDEX


DR1 COVER SHEET & EXISTING CONDITIONS
DR2 PRELIMINARY SITE & UTILITY PLAN
DR3 PRELIMINARY FRONTAGE & SANITARY SEWER PLAN
DR4 PRELIMINARY PLAT LAYOUT
DR5 PRELIMINARY LANDSCAPE PLAN
DR6 PRELIMINARY DIMENSION PLAN
DR7 PRELIMINARY SITE SECTIONS


## VICINITY MAP




## CONTACT INFORMATION


### CIVIL ENGINEER
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BELLINGHAM, WA 98225
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### OWNER
JESS KENOYER
PO BOX 446
LYNDEN, WA 98264



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Bellingham, WA 98225
t: 360.650.1408
f: 360.650.1401
FREELAND & ASSOCIATES


| REV: | DATE: | DESCRIPTION: | BY: |
|---|---|---|---|

CLIENT: CHILI PEPPERS, LLC
PO BOX 446
LYNDEN, WA 98264

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1-800-424-5555

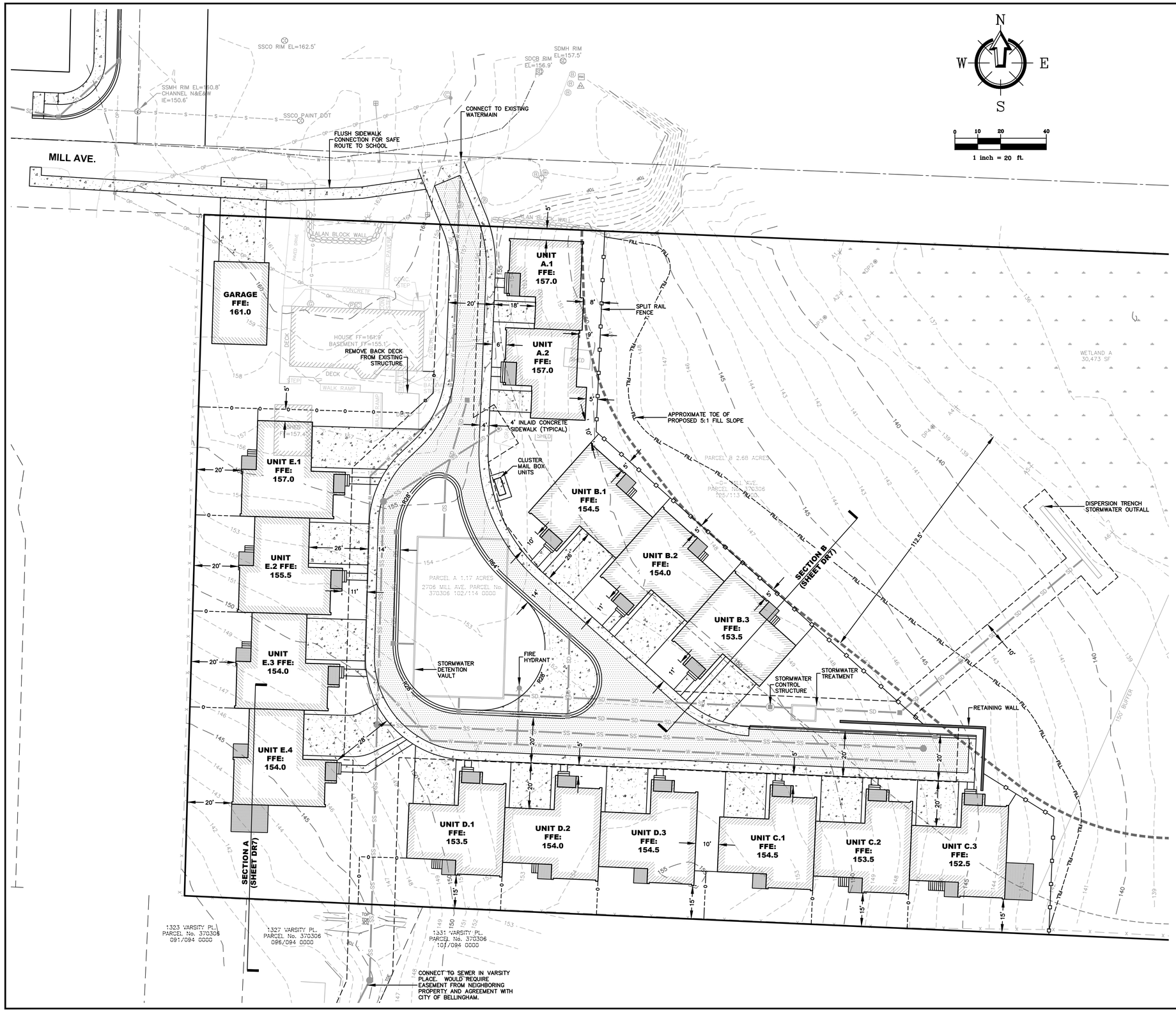
PROJECT LOCATION: MILL AVENUE DEVELOPMENT
2706 MILL AVENUE
BELLINGHAM, WASHINGTON

DRAWING #: 22275SP15.DWG
DRAWN BY: JPS
DESIGNED BY: JPS
CHECKED BY: JPS

SHEET CONTENTS: COVER SHEET & EXISTING CONDITIONS

PRELIMINARY

JOB #: 22275
DATE: 2-7-2025
SHEET: DR1




## STORMWATER MITIGATION

PROPOSED HARD SURFACES ASSOCIATED WITH THIS PROJECT ADD OR REPLACE MORE THAN 5,000 SQUARE FEET. AS SUCH, THIS PROJECT IS SUBJECT TO MINIMUM REQUIREMENTS 1–9 AS OUTLINED IN BELLINGHAM MUNICIPAL CODE (BMC) SECTION 15.42.060. STORMWATER MITIGATION WILL BE PROVIDED WITH AN UNDERGROUND DETENTION SYSTEM AND PROPRIETARY STORMWATER TREATMENT FACILITY. STORMWATER INFILTRATION AND DISPERSION WERE INVESTIGATED FOR THIS PROJECT; HOWEVER, PER GEOTECHINCAL ADVISEMENT BOTH OF THESE MITIGATION STRATEGIES ARE INFEASIBLE.

## DEPARTMENT OF ECOLOGY MINIMUM REQUIREMENTS

### MINIMUM REQUIREMENT #1 - PREPARATION OF STORMWATER SITE PLANS

A STORMWATER SITE PLAN (SSP) WILL BE COMPLETED AT TIME OF CONSTRUCTION DOCUMENTS.

### MINIMUM REQUIREMENT #2 - CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN

A STORMWATER POLLUTION PREVENTION PLAN WILL BE COMPLETED AT TIME OF CONSTRUCTION DOCUMENTS.

### MINIMUM REQUIREMENT #3 - SOURCE CONTROL OF POLLUTION

ALL SOURCE CONTROL ELEMENTS APPLICABLE TO THIS PROEJCT WILL BE APPLIED AT TIME OF CONSTRUCTION. A LIST WILL BE INCLUDED IN THE FINAL SSP.

### MINIMUM REQUIREMENT #4 - PRESERVATION OF NATURAL DRAINAGE SYSTEMS AND OUTFALLS

NO SIGNIFICANT STORMWATER DIVERSIONS ARE PROPOSED AS A PART OF THIS PROJECT. STORMWATER WILL CONTINUE TO DISCHARGE TO THE HOME ROAD RIGHT–OF–WAY.

### MINIMUM REQUIREMENT #5 - ON-SITE STORMWATER MANAGEMENT

STORMWATER INFILTRATION IS INFEASIBLE PER THE PRELIMINARY GEOTECHINCAL ANALYSIS. STORMWATER DISPERSION IS NOT APPLICABLE DUE TO STEEP TOPOGRAPHY ADJACENT TO THE SITE. ALL STORMWATER WILL BE DETAINED AND TREATED WITH THE PROPOSED PROJECT USING ENGINEERED SYSTEMS. ALL LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION WILL BE AMENDED PER BMP T5.13..

### MINIMUM REQUIREMENT #6 - RUNOFF TREATMENT

PROJECT STORMWATER TREATMENT WILL OCCUR WITHIN AN ENGINEERED TREATMENT SYSTEM.

### MINIMUM REQUIREMENT #7 - FLOW CONTROL

STORMWATER RUNOFF WILL BE COLLECTED AND DETAINED WITHIN DETENTION TANKS PRIOR TO DISCHARGE.

### MINIMUM REQUIREMENT #8 - WETLANDS PROTECTION

WETLANDS HAVE BEEN LOCATED ON THE EAST SIDE OF THE SITE. PER PRELIMINARY DISCUSSION WITH THE PROJECT'S WETLAND BIOLOGIST, THIS WETLAND PRIMARILY RECEIVES HYDROLOGY FROM THE SURROUNDING AREA. THIS WETLAND, AND CORRESPONDING BUFFER, WILL BE ENHANCED WITH ADDITIONAL VEGETATION. THEREFORE, THE STORMWATER MANAGEMENT SYSTEM WILL OUTFALL ABOVE THE WETLAND TO ENSURE HYDROLOGY IS PRESERVED. FURTHER DISCUSSION WILL BE PROVIDED IN THE FINAL STORMWATER SITE PLAN.

### MINIMUM REQUIREMENT #9 - OPERATION & MAINTENANCE

AN OPERATIONS AND MAINTENANCE MANUAL FOR THE PROJECT WILL BE COMPLETED AT TIME OF CONSTRUCTION DOCUMENTS.

## PROJECT INFORMATION

### SITE COVERAGE

| | |
|---|---|
| LOT SIZE: | 167,613 SF |
| BUILDINGS: | 21,900 SF |
| HARD SURFACING: | 19,671 SF |
| EXISTING TO REMAIN: | 2367 SF |
| TOTAL COVERAGE | 43,938 SF |
| OPEN SPACE | 123,675 SF (73.8%) |

### USABLE SPACE

| | |
|---|---|
| COMMON COMMUNITY AREA | 4,843 SF |
| PRIVATE YARDS: | 12,084 SF |
| ROOF TOP DECKS: | SEE FAR CALCS |

### PARKING SUMMARY

| | |
|---|---|
| 28 | PROPOSED GARAGE PARKING STALLS |
| 28 | PROPOSED SURFACE PARKING STALLS |
| 2 | PROPOSED GARAGE PARKING STALLS FOR EXISTING/ADU |
| 2 | PROPOSED SURFACE PARKING STALLS FOR EXISTING/ADU |
| TOTAL: | 60 STALLS |

### FAR CALCULATIONS

| | |
|---|---|
| TOTAL SITE AREA* | 159,032 SF |
| FLOOR AREA ALLOWED (0.75 FAR) | 119,274 SF |

(*NOTE: DOES NOT INCLUDE PROPOSED LOT 1)

BUILDING A, UNIT 1:

| | |
|---|---|
| MAIN: | 740 SF |
| UPPER: | 755 SF |
| GARAGE: | 304 SF |
| COVERED PORCH: | 55 SF |
| ROOF DECK: | 288 SF |

BUILDING D, UNIT 2:

| | |
|---|---|
| MAIN: | 722 SF |
| UPPER: | 738 SF |
| GARAGE: | 353 SF |
| COVERED PORCH: | 55 SF |
| ROOF DECK: | 383 SF |

BUILDING B–E, ALL UNITS

| | |
|---|---|
| MAIN: | 830 SF |
| UPPER: | 820 SF |
| GARAGE: | 499 SF |
| COVERED PORCH: | 50 SF |
| ROOF DECK: | 516 SF |
| TOTAL FLOOR AREA: | 24,405 SF |
| FAR PROPOSED: | 0.20 |

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CLIENT: CHILI PEPPERS, LLC
PO BOX 446
LYNDEN, WA 98264

CALL BEFORE YOU DIG
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1–800–424–5555

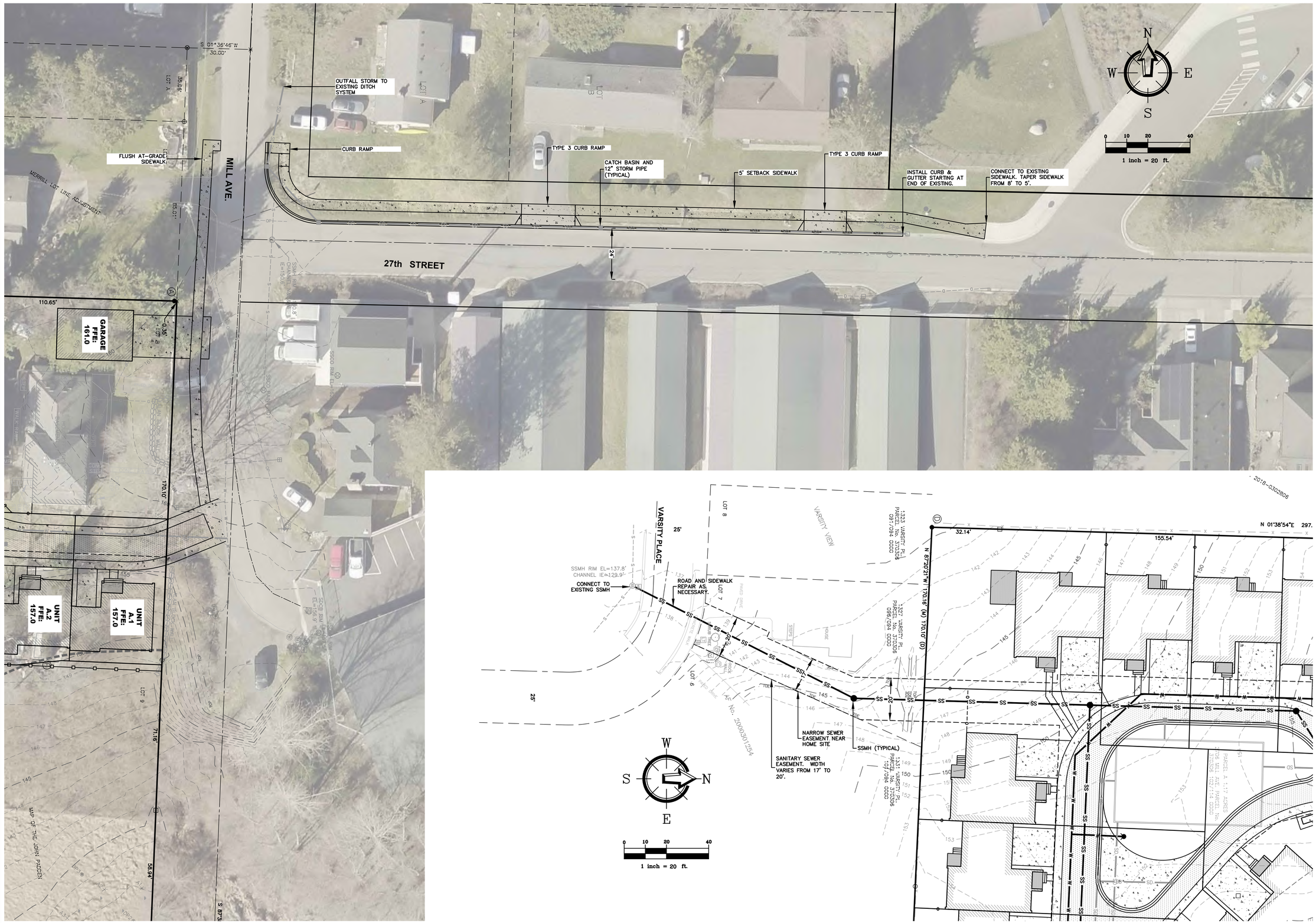
PROJECT LOCATION: MILL AVENUE DEVELOPMENT
2706 MILL AVENUE
BELLINGHAM, WASHINGTON

DRAWING #: 22275SP5.DWG
DRAWN BY: JPS
DESIGNED BY: JPS
CHECKED BY: JPS

SHEET CONTENTS: PRELIMINARY SITE & UTILITY PLAN

PRELIMINARY

JOB #: 22275
DATE: 2–7–2025
SHEET: DR2

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2706 MILL AVENUE
BELLINGHAM, WASHINGTON

DRAWING #: 22275SP15.DWG
DRAWN BY: JPS
DESIGNED BY: JPS
CHECKED BY: JPS

SHEET CONTENTS: PRELIMINARY FRONTAGE & SANITARY SEWER PLAN

PRELIMINARY

JOB #: 22275
DATE: 2-7-2025
SHEET: DR3

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PROJECT LOCATION: **MILL AVENUE DEVELOPMENT**
2706 MILL AVENUE
BELLINGHAM, WASHINGTON

DRAWING #: 22275SP15.DWG
DRAWN BY: JPS
DESIGNED BY: JPS
CHECKED BY: JPS

SHEET CONTENTS: **PRELIMINARY PLAT LAYOUT**

PRELIMINARY

JOB #: 22275
DATE: 2-7-2025
SHEET: **DR4**

# Green Factor Score Sheet

*Project title: 2706 Mill Avenue*

| | | enter sq ft of parcel | | | |
|---|---|---|---|---|---|
| | | Parcel size *(enter this value first)* * | 78,512 | SCORE | 0.410 |
| | **Landscape Elements**** | | Totals from GF worksheet | Factor | Total |
| 1 | **Landscaped areas (select one of the following for each area)** | | | | |
| a | Landscaped areas with a soil depth of less than 24" | | enter sq ft 2,539 | 0.1 | 254 |
| b | Landscaped areas with a soil depth of 24" or greater | | enter sq ft 27,074 | 0.8 | 21,659.2 |
| c | Bioretention facilities | | enter sq ft 0 | 1.0 | - |
| 2 | **Plantings (credit for plants in landscaped areas above)** | | | | |
| a | Mulch, ground covers, or other plants less than 2' tall at maturity | | enter sq ft 29,613 | 0.2 | 5,923 |
| b | Shrubs or perennials 2'+ at maturity - calculated at 16 sq ft per plant (typically planted no closer than 18" on center) | enter number of plants 80 | 1280 | 0.3 | 384 |
| c | Tree canopy for "small trees" in the Bellingham List of Approved Street Trees or equivalent (canopy spread of 15') calculated at 50 sq ft per tree | enter number of plants 16 | 800 | 0.3 | 240 |
| d | Tree canopy for "small/medium trees" in the Bellingham List of Approved Street Trees or equivalent (canopy spread of 20') calculated at 100 sq ft per tree | enter number of plants 19 | 1900 | 0.3 | 570.0 |
| e | Tree canopy for "medium/large trees" in the Bellingham List of Approved Street Trees or equivalent (canopy spread of 25') calculated at 150 sq ft per tree | enter number of plants 3 | 450 | 0.4 | 180.0 |
| f | Tree canopy for "large trees" in the Bellingham List of Approved Street Trees or equivalent (canopy spread of 30') calculated at 200 sq ft per tree | enter number of plants 0 | 0 | 0.5 | - |
| g | Tree canopy for preservation of "exceptional trees" or other large existing trees 6" or greater in diameter - calculated at 15 sq ft per inch DBH (diameter 4.5 feet above the ground) | enter inches DBH 0 | 0 | 0.8 | - |
| 3 | **Green roofs** | | | | |
| a | Over at least 2" and less than 4" of growth medium | | enter sq ft 0 | 0.4 | - |
| b | Over at least 4" of growth medium | | enter sq ft 0 | 0.7 | - |
| 4 | **Vegetated walls** | | enter sq ft 0 | 0.7 | - |
| 5 | **Approved water features** | | enter sq ft 0 | 0.7 | - |
| 6 | **Pervious paving** | | | | |
| a | Pervious paving over at least 6" and less than 24" of soil or gravel | | enter sq ft 0 | 0.3 | - |
| b | Pervious paving over at least 24" of soil or gravel | | enter sq ft 0 | 0.5 | - |
| 7 | **Structural soil systems** | | enter sq ft 0 | 0.4 | - |
| | | sub-total of sq ft = | 63,656 | | |
| 8 | **Bonuses** | | | | |
| a | Drought-tolerant or native plant species | | enter sq ft 29,613 | 0.1 | 2,961.3 |
| b | Landscaped areas where at least 50% of annual irrigation needs are met through the use of harvested rainwater | | enter sq ft 0 | 0.2 | - |
| c | Landscaping in food cultivation | | enter sq ft 0 | 0.3 | - |
| | | | Green Factor numerator = | | 32,171 |

## LANDSCAPE LEGEND:

- = LARGE TREE
- = SMALL/MEDIUM DECIDUOUS TRE
- = SMALL DECIDUOUS TREE
- = PNW NATIVE GRASS MIX
- = EVERGREEN & DECIDUOUS FLOWERING SHRUBS & GRASSES

NOTE: ACCESS LANE IS APPROXIMATELY 640 FEET LONG


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LYNDEN, WA 98264

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PROJECT LOCATION: MILL AVENUE DEVELOPMENT
2706 MILL AVENUE
BELLINGHAM, WASHINGTON

DRAWING #: 22275SP5.DWG
DRAWN BY: JPS
DESIGNED BY: JPS
CHECKED BY: JPS

SHEET CONTENTS: PRELIMINARY LANDSCAPE PLAN

PRELIMINARY

JOB #: 22275
DATE: 2-7-2025
SHEET: DR5

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| | | | |

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2706 MILL AVENUE
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DRAWING #: 22275SP15.DWG
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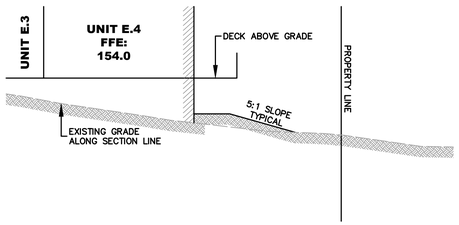
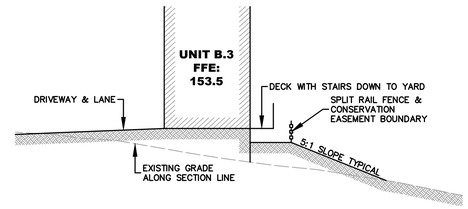
SHEET CONTENTS: PRELIMINARY DIMENSION PLAN

PRELIMINARY

JOB #: 22275
DATE: 2-7-2025
SHEET: DR6




A SECTION A
H: 1"=20',V: 1"=10'




B SECTION B
H: 1"=20',V: 1"=10'

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f: 360.650.1401
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CHECKED BY: JPS

SHEET CONTENTS:
**PRELIMINARY SITE SECTIONS**

PRELIMINARY

JOB #: 22275
DATE: 2-7-2025
SHEET:
**DR7**

## CONSTRUCTION SPECIFICATIONS

1. GENERAL NOTES: 2021 IRC
   A. SEISMIC DESIGN CATEGORY D1
   B. WIND EXPOSURE AND SPEED 110mph, EXP. B
   C. SNOW LOAD @ 25 psf.
   D. FLOOR LIVE LOAD 40 psf
   E. DECK LIVE LOAD 60 psf
   F. SOIL BEARING PRESSURE 1500 psf
   G. ALL GLASS IN DOORS, SIDELIGHTS, AND OTHER HAZARDOUS LOCATIONS TEMPERED GLASS (IRC 308.4)
2. FOUNDATION:
   A. FOOTING: SHOWN AS MINIMUM ON DRAWING AND TO BE POURED ON CENTER OF WALL DIMENSIONS.
      - FOOTINGS ARE TO BE POURED ON UNDISTURBED OR PROPERLY COMPACTED SOIL.
      - A 4" PERF. DRAIN PIPE IS TO BE LAID AROUND PERIMETER OF FOOTING AND OVERLAID W/ ½"-2" DRAIN ROCK.
   B. FOUNDATION WALLS: TO BE BUILT TO SIZE SPECIFIED ON DRAWINGS AND THICKNESS SPECIFIED IS MINIMUM REQUIREMENTS. PLACED IN ACCORDANCE W/ FOUNDATION PLAN.
   C. REINFORCEMENT STEEL: TO BE AS SPECIFIED THICKNESS CALLED OUT ON DRAWINGS AND TO BE DETAILED AND PLACED IN ACCORDANCE W/ BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE AND TO BE DEFORMED STEEL BARS CONFORMING TO ASTM A615, GRADE 40.
   D. CONCRETE: SHALL BE OF "READY-MIXED CONCRETE" AND SHALL CONFORM TO ASTM C94 (5 SACK OR BETTER)
      - AFTER CONCRETE HAS BEEN PROPERLY CURED IT SHALL HAVE A COMPRESSIVE STRENGTH OF 2500 PSI UNLESS OTHERWISE SPECIFIED.
   E. CONCRETE WALL DAMP-PROOFING PER IRC 406
   F. PORCHES, CARPORT SLABS, AND STEPS EXPOSED TO THE WEATHER AND GARAGE SLABS SHALL HAVE A COMPRESSIVE STRENGTH OF NO LESS THAN 3000 PSI PER IRC TABLE R402.2
3. FRAMING:
   A. FLOOR: TO BE FRAMED IN ACCORDANCE W/ SPECIFICATIONS OF DRAWINGS.
      - AND TO HAVE ALLOWABLE FLOOR LOAD AS SET FORTH IN IRC SEC R502.3 AND R502.3.2
      - ALL STRUCTURAL MEMBERS OF FLOOR TO BE PROPERLY SET AND FASTENED IN ACCORDANCE W/ IRC.
      - STRUCTURAL LUMBER TO BE #2 DOUGLAS FIR OR BETTER.
   B. WALLS: EXTERIOR WOOD FRAMED WALLS TO BE 2x6 DF-L #2 W/ STUDS @ 16" O.C. PER IRC 602.3. HEIGHT OF EXTERIOR WALL TO BE AS SHOWN.
      - ALL EXTERIOR WALLS SHALL BE SHEATHED W/ 1/2" STRUCTURAL PLYWOOD OR 7/16" OSB. BRACING WILL BE DETAILED IN PLAN.
      - ALL WINDOW HEADERS AND BEARING WALL BEAMS TO BE 4x10 UNLESS SPECIFIED ON DRAWINGS.
      - INTERIOR WALLS TO BE 2x4 CONSTRUCTION PLACED @ 16" OC. STUD HEIGHT TO BE AS SHOWN.
      - INTERIOR BATHROOM WALLS W/ EXTENSIVE PLUMBING FIXTURES MAY HAVE 2x6 FRAMED WALLS TO PROVIDE CLEARANCE AND COMFORTABLE WORKING SPACE.
      - BATHROOM WALL COVERINGS SHALL BE MOISTURE RESISTANT CEMENT PLASTER, TILE, OR APPROVED EQUAL TO 72 INCHES ABOVE DRAIN AT SHOWERS OR TUB W/ SHOWERS. (R702.2.5 & R702.4.2)
      - ALL NOTCHING & DRILLING OF FRAMING TO BE DONE IN ACCORDANCE WITH IRC 602.6 & 602.6.1
   C. ROOF: DRAWINGS WILL SPECIFY TRUSSES OR RAFTER CONSTRUCTION
      - ENG. TRUSS DETAIL TO BE CHECKED BY GENERAL CONTRACTOR OR BUILDING DESIGNER BEFORE INSTALLATION.
      - STANDARD SNOW LOAD TO BE VERIFIED PER SITE ISSUING JURISDICTION PSF TOTAL LOAD UNLESS SPECIFIED OTHERWISE ON DRAWINGS.
      - ROOF SHEATHING TO BE ½" CDX STANDARD, BUT WILL VARY W/ ROOFING PRODUCT USED.
   D. CONNECTIONS
      - ALL CONNECTORS ARE SPECIFIED AS SIMPSON, EQUIVALENT LUMBERLOCK CONNECTORS WILL BE SATISFACTORY
      - NAILING SCHEDULE TO BE IN ACCORDANCE W/ TABLE R602.3 (1)
   E. BEAM BEARING POINTS IN WALLS (B.P.)
      - ALL BEAM B.P. IN WALLS MUST HAVE 2x STUDS NAILED TOGETHER TO A MIN. WIDTH NOT LESS THAN BEAM BEING SUPPORTED
4. ENERGY CODE: COMPLY WITH WASHINGTON STATE ENERGY CODE
   A. ALL WINDOWS & DOORS TO BE SEALED INTO WALL W/ CAULKING & WEATHERSTRIPPING
   B. ALL FRAMING INTERSECTIONS BETWEEN CONDITIONED TO UNCONDITIONED WALLS & FOUNDATIONS TO BE CAULKED TO STOP AIR LEAKAGE
   C. ALL PENETRATIONS FOR PLUMBING, WIRING, & DUCTING TO BE SEALED
   D. VENTILATION DUCTS SHALL HAVE R-4 INSULATION COVERING
   E. PROVIDE 6" INTAKE DUCT WITHIN 4'-0" OF FURNACE PLENUM (DAMPER & TIMER INTEGRATED INTO FURNACE SYSTEM)
5. INSULATION: (2018 WSEC)
   A. MINIMUM INSULATION:
      - 1. CLG R-49 INSULATION OR R-38 ADVANCED FRAMING
      - 2. VAULT CLG R-38 INSULATION
      - 3. WALLS ABOVE GRADE R-21
      - 4. WALL INT BELOW GRADE R-21
      - 5. WALL EXT BELOW GRADE R-10
      - 6. FLOOR R-38
      - 7. SLAB ON GRADE - R-10 (ENTIRE SLAB)
   B. ALL EXTERIOR WALLS: TO HAVE EITHER VAPOR BARRIER, (A) OR (B) INSTALLED PER MANUFACTURER'S SPECS. WITH WINDOW & JOINT TAPE PER IRC 703 & TABLE IRC 703.3(1)
      - TYVEK HOUSE WRAP AND DUPONT FLASHING SYSTEMS FOR ALL WINDOWS AND DOOR. CONSULT DUPONT MANUAL AND REP. FOR INSTALLATION INSTRUCTIONS.
6. FLASHING:
   A. CONTRACTOR & HOME OWNER TO INSTALL ADEQUATE FLASHING AT ALL WATER INFILTRATION POINTS SUCH AS, BUT NOT LIMITED TO, WINDOWS, DOORS, DECKS, SKYLIGHTS, CHIMNEYS, VENTS, TRIM BOARDS, BALCONIES AND ROOF VALLEYS.
   B. WATER PROOF DECKS AND BALCONIES TO BE FLASHED PER MANUF. SPECS. FOR WATER PROOF MEMBRANE.
   C. ALL CAULKING MUST BE INSPECTED & MAINTAINED ANNUALLY BY HOME OWNER USING APPROVED EXTERIOR SIDING CAULK.

   CODES: VALLEY FLASHING - IRC 905.2.8 / IRC 905.4.6
   OTHER FLASHING - IRC 905.2.8, 905.3.8, 905.4.6, 905.6.6, 905.7.6 & 905.8.8
   WATERPROOFING WEATHER EXPOSED AREAS, I.E. DECKS & BALCONIES. - IRC 703.4
   MASONRY - R703.8 AND WINDOWS - R610 AND R703.4

## MECHANICAL SPECIFICATIONS

1. THE MAXIMUM LENGTH OF A CLOTHES DRYER DUCT SHALL NOT EXCEED 35 FEET (10,668 MM) FROM THE DRYER LOCATION TO THE WALL OR ROOF TERMINATION. THE MAXIMUM LENGTH OF THE DUCT SHALL BE REDUCED 25 FEET (762 MM) FOR EACH 45-DEGREE (0.8 RAD.) BEND AND 5 FEET (1524 MM) FOR EACH 90-DEGREE (1.6 RAD.) BEND. THE MAXIMUM LENGTH OF THE EXHAUST DUCT DOES NOT INCLUDE THE TRANSITION DUCT. (M1502.4.5)
2. ELEMENTS OF APPLIANCES WHICH CREATE A GLOW, SPARK, OR FLAME SHALL BE LOCATED A MINIMUM OF 18" ABOVE THE GARAGE FLOOR (IMC 304.3)
3. EXHAUST DUCTS TO BE CONSTRUCTED OF SMOOTH-BORE, NONCOMBUSTIBLE MATERIALS. APPROVED FLEX CONNECTORS NOT EXCEEDING 6 FT. IN LENGTH MAY BE USED IN CONNECTION WITH DOMESTIC DRYER EXHAUST. (IMC 504.6)
4. HOT WATER TANKS HAVING FLEXIBLE PIPE CONNECTIONS AND OVER FOUR FEET TALL SHALL BE STRAPPED DOWN TO PREVENT OVERTURN IN AN EARTHQUAKE. (UPC 508.2)
5. PROVIDES PROTECTION OF GAS BURNING APPLIANCES PER IRC SEC M1301
6. EXHAUST AIR FROM BATHROOMS AND TOILET ROOMS SHALL BE EXHAUSTED DIRECTLY OUTDOORS (IRC M1507.2).
7. ALL EXHAUST OPENINGS SHALL TERMINATE NOT LESS THAN 3 FEET FROM PROPERTY LINES, OPENINGS, AND 10 FEET FROM MECHANICAL AIR INTAKES (UNLESS 3 FEET ABV.).

## PLUMBING SPECIFICATIONS

1. PROVIDE PRESSURE RELIEF VALVE FOR HOT WATER TANK. DRAIN TO THE OUTSIDE OF THE BUILDING WITH DRAIN END NOT MORE THAN TWO FEET NOR LESS THAN 6" ABOVE THE GROUND, POINTING DOWN. (UPC 608.5)
2. PROVIDE AN AIR GAP FOR THE DISHWASHER IF PROVIDED. (UPC 807.4)
3. PROVIDE AN APPROVED BACK FLOW PREVENTION DEVICE AT ALL HOSE BIBBS. (UPC 608.4.7)
4. PROVIDE A CLEAN-OUT WHERE BUILDING DRAIN AND BUILDING SEWER LINES CONNECT. (UPC 719.1)
5. EACH HORIZONTAL DRAINAGE PIPE SHALL BE PROVIDED WITH A CLEANOUT AT ITS UPPER TERMINAL. (UPC 707.4)

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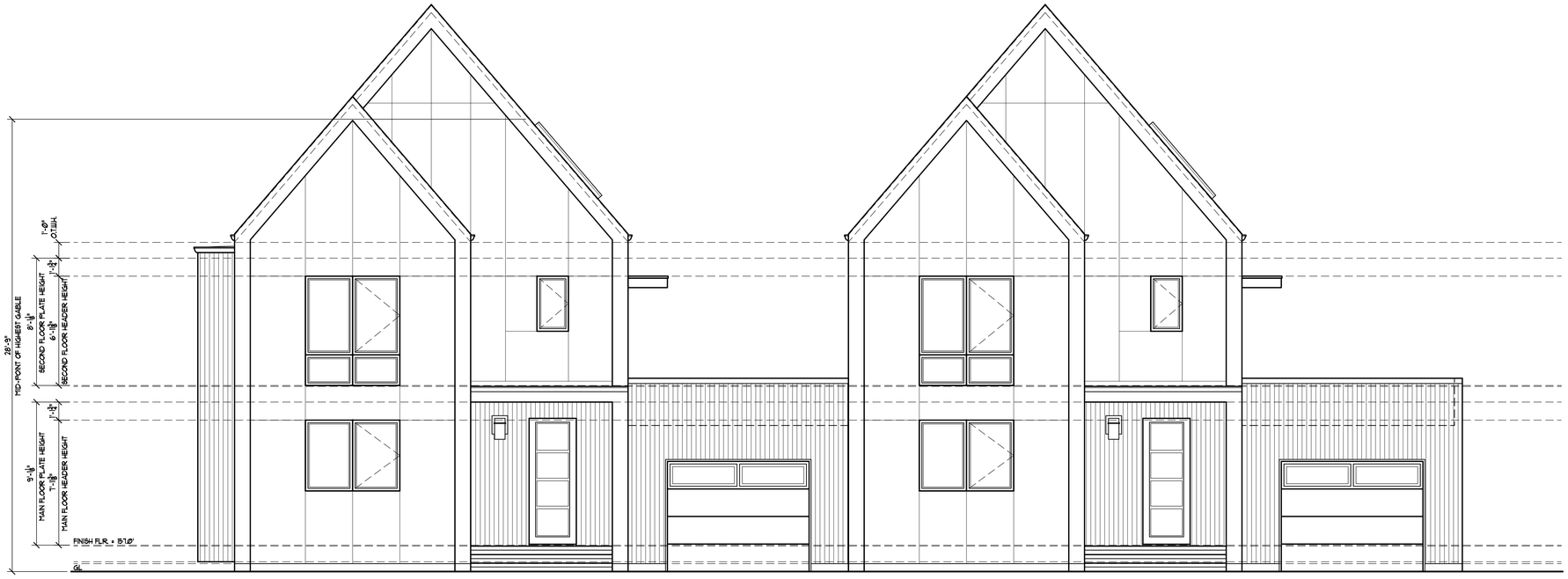
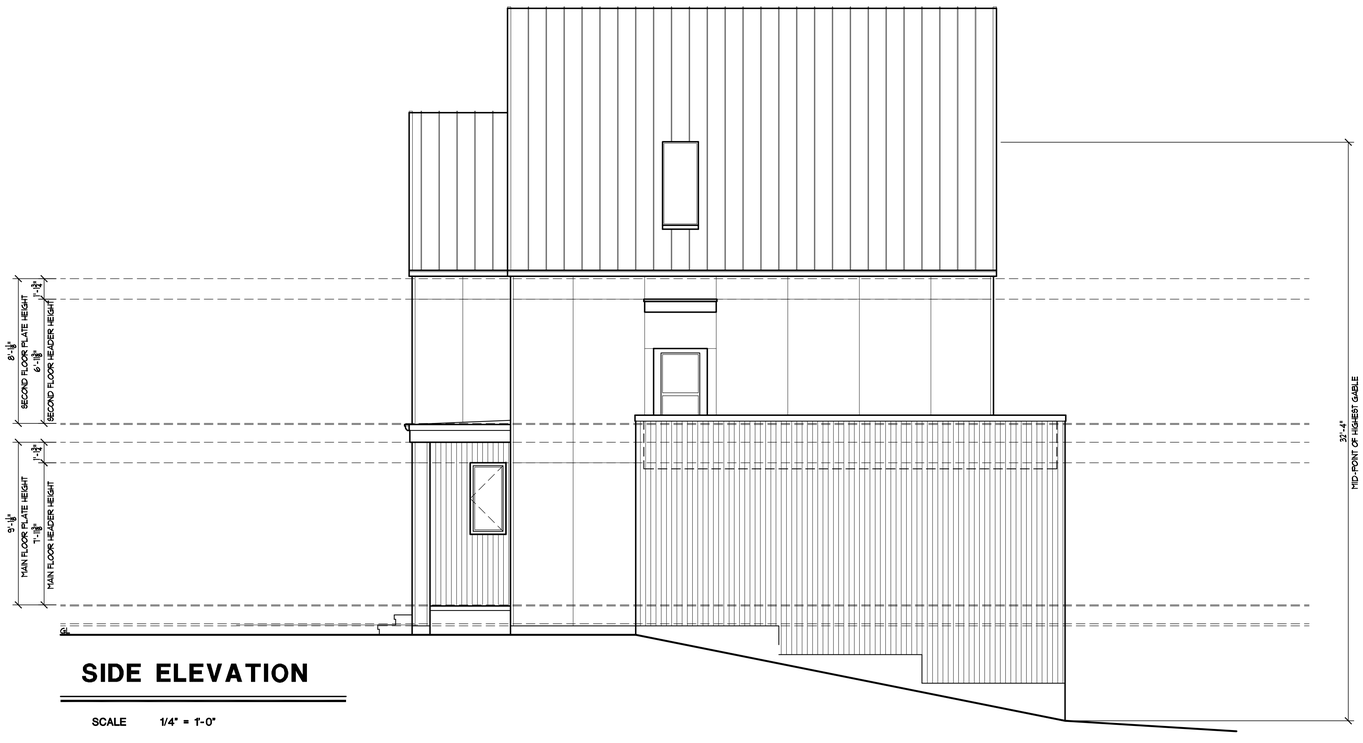
Contractor shall verify and be responsible for all dimensions and conditions on the job, and JWR must be notified of any variations from the dimensions and conditions shown on these drawings. Shop details should be submitted to JWR for review before proceeding with fabrication.




## FRONT ELEVATION

SCALE 1/4" = 1'-0"




## SIDE ELEVATION

SCALE 1/4" = 1'-0"

| REVISIONS | DATE | BY |
|---|---|---|
| | | |

PLAN#
23-186

# MILL AVE. - 2-UNIT TOWNHOME : BLDG-A

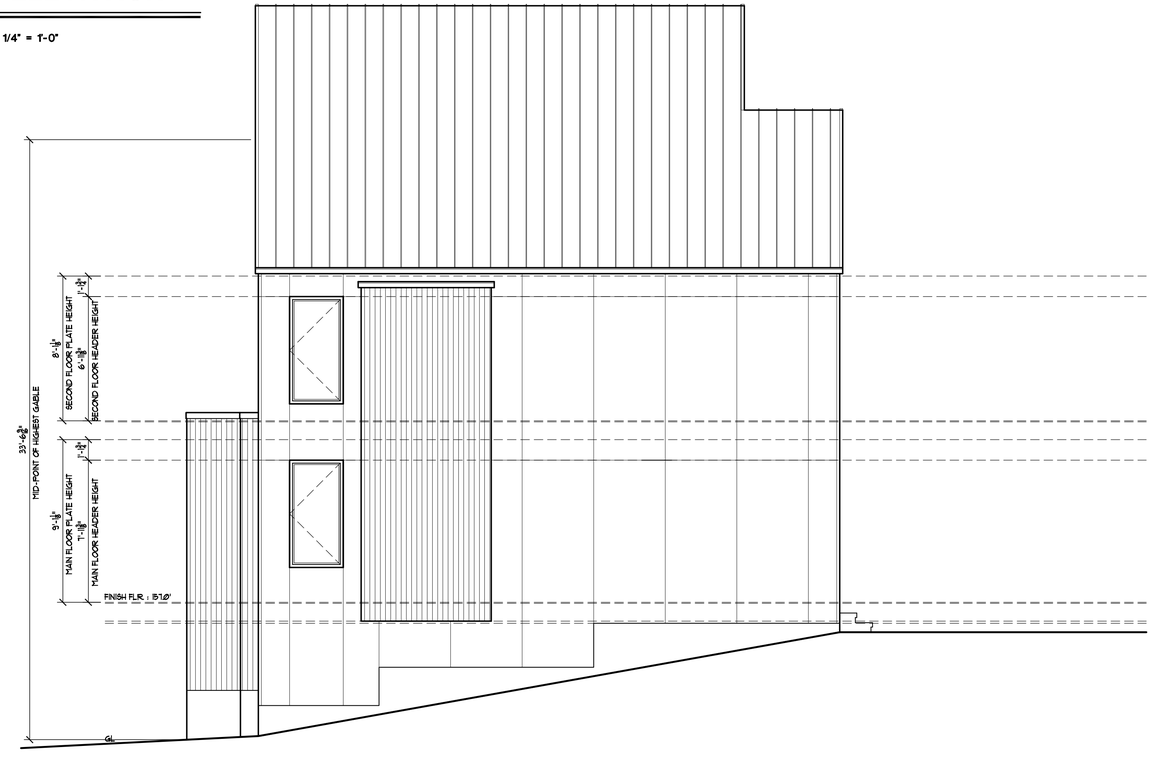
## EXTERIOR ELEVATIONS

JWR Design, Inc.
104 Front Street
Lynden, WA 98264
(360) 354-0333

| | |
|---|---|
| DRAWN | JSWB |
| DATE | 9-16-24 |
| SCALE | AS NOTED |
| CHECKED | J.W.R. |
| SHEET | A1 OF |

## REAR ELEVATION

SCALE 1/4" = 1'-0"




## OPISITE SIDE ELEVATION

SCALE 1/4" = 1'-0"

| REVISIONS | DATE | BY |
|---|---|---|
| PLAN# | | |

# MILL AVE. - 2-UNIT TOWNHOME : BLDG-A

## EXTERIOR ELEVATIONS

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| DRAWN | JSWB |
| DATE | 9-16-24 |
| SCALE | AS NOTED |
| CHECKED | J.W.R. |
| SHEET | A2 OF |

**DUCT CONSTRUCTION:**

-DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM OF NO. 26 GAUGE SHEET STEEL AND HAVE NO OPENINGS INTO THE GARAGE. THIS WOULD ALSO PROHIBIT FILTER ACCESS OPENINGS IN THE RETURN AIR DUCT SYSTEM.

**SMOKE ALARM NOTE:**

- SMOKE ALARMS TO BE INTERCONNECTED OR WIRELESSLY CONNECTED SO THAT THE ACTIVATION OF ONE ALARM ACTIVATES ALL ALARMS IN A DWELLING UNIT.

**DUCT SEALING & BLOWER TESTING:**

-DUCTS LOCATED OUTSIDE THE CONDITIONED SPACE MUST BE SEALED & TIGHTNESS VERIFIED BY LEAKAGE TESTING PER WSEC SECTION 403.22, AND INSULATED TO A MINIMUM OF R-8.

-AIR LEAKAGE TESTING REQUIRED FOR NEW HOUSES. MAXIMUM LEAKAGE ALLOWED PER WSEC 403.2.2.

**FURNACE & HOT WATER TANK NOTE:**

- FURNACE & HOT WATER APPLIANCES SHALL BE DIRECT VENT.

- ALL COMBUSTION AIR TO COME DIRECTLY FROM EXTERIOR.

- 30" CLEAR SPACE IN FRONT OF FURNACE.

- APPLIANCES TO BE FASTENED IN PLACE PER CODE.

- WATER HEATER TO BE INSTALLED A MIN. OF 18" ABV. FLR.

- INSULATION FOR ALL HOT WATER PIPES SHALL HAVE A MIN. THERMAL RESISTANCE OF R-3 WITHIN AND OUTSIDE CONDITIONED SPACE. INS. CAN BE INTERRUPTED WHEN PASSING THROUGH JST., STUDS, & STRUCTURAL MEMBERS, OR WHERE PASSING OTHER PIPING, CONDUIT, OR VENTS, PROVIDED THE INS. IS SECURED TIGHTLY TO EACH OBSTRUCTION.

WHOLE HOUSE VENTILATION SYSTEMS SHOULD COMPLY WITH M1505.4

**FLOOR PLAN NOTES:**

1. VINYL FRAME WINDOWS TYPICAL. ROUGH OPENINGS MAY VARY, VERIFY PER MFG. SPECS.
2. CABINET DESIGN BY OTHERS TO BE VERIFIED W/ ACTUAL FRAMED (AS BUILT) DIMENSIONS ON SITE.
3. FOR ALL BEAM SIZES & LOCATIONS REFER TO STRUCTURAL FRAMING PLANS & ENGINEERING CALCS DURING CONSTRUCTION.
4. SEE STRUCTURAL PLANS: FOUNDATION, FRAMING & SHEAR WALL SHEETS FOR ALL SIMPSON HOLD-DOWNS AND STRAPS AND HANGERS.

FRAMING NOTE:
FOR ALL BEAM SIZES & LOCATIONS REFER TO STRUCTURAL FRAMING PLANS & ENGINEERING CALCS. DURING FRAMING CONSTRUCTION.

GUARDRAIL NOTE:
SHOP DRAWINGS, SIGNED & SEALED BY A REGISTERED DESIGN PROFESSIONAL, WILL BE REQUIRED FOR THE GUARDRAIL SYSTEMS AT THE STAIRS & DECK.

**SQUARE FOOTAGE**

| | |
|---|---|
| MAIN FLR. | 740 S.F. |
| SECOND FLR. | 755 S.F. |
| TOTAL | 1,495 S.F. |
| GARAGE | 304 S.F. |
| CVRD. PORCH | 55 S.F. |
| ROOF DECK | 288 S.F. |

**SQUARE FOOTAGE**

| | |
|---|---|
| MAIN FLR. | 722 S.F. |
| SECOND FLR. | 738 S.F. |
| TOTAL | 1,460 S.F. |
| GARAGE | 353 S.F. |
| CVRD. PORCH | 55 S.F. |
| ROOF DECK | 338 S.F. |

# MAIN FLOOR PLAN

SCALE 1/4" = 1'-0"

NOTE: HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS. HANDRAIL HEIGHT (MEASURED VERTICALLY FROM THE SLOPED PLAN ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF RAMP SLOPE) SHALL BE NOT LESS THAN 34" & AND NOT MORE THAN 38". SPACE BETWEEN HANDRAIL AND ADJACENT WALL SHALL SHALL BE AT LEAST 1½". (IRC R311.7.8)

NOTE:
PROVIDE TEMPERED GLAZING IN ALL WINDOWS WITH EXPOSED AREAS GREATER THAN 9 S.F. AND IN WINDOWS WITH BTTM. EDGE LESS THAN 18" ABV. FLOOR

**ABBREVIATION KEY**

G.L. = GRADE LINE
S/R = SHEETROCK
BLW. = BELOW
S.F. = SQUARE FEET
R.W.L. = RAIN WATER LEADER
E.W. = EACH WAY
℄ = CENTER LINE
FIN. F.L. = FINISHED FLOOR LEVEL
AFL. = ABOVE FLOOR LEVEL
B.O. = BOTTOM OF
S.C. = SOLID CORE
R.O. = ROUGH OPENING
O.H.D. = OVER-HEAD DOOR
PIC. = PICTURE
CSMT. = CASEMENT
H.V. = HORIZONTAL VENT
TRANS. = TRANSOM (WINDOW ABOVE)
S.H. = SINGLE HUNG (WINDOW)
W.H. = WHOLE HOUSE FAN
DV = DIRECT VENT
A.A. = ATTIC ACCESS
G.T. = GIRDER TRUSS
G.B. = GYPBOARD
T.O. = TOP OF
B.P. = BEARING POINT
B.W. = BEARING WALL
PT = PRESSURE TREATED
DF = DOUGLAS FIR
INT. = INTERIOR
EXT. = EXTERIOR
BM = BEAM
ABV. = ABOVE
EXP. = EXPOSE
O.T.W.H. = OVER THE WALL HEIGHT
S.C./ S.C. = SOLID CORE/ SELF CLOSING
S.G.D. = SLIDING GLASS DOOR
W = WASHER
D = DRYER
O.H.C. = OVERHEAD CABINET
AWN = AWNING (WINDOW)
CFM = CUBIC FEET PER MINUTE (AIRFLOW)
H.P.W.H. = HEAT PUMP WATER HEATER
C.O. = CASED OPENING
G.E.G.T. = GABLE END GIRDER TRUSS

HOSE BIBB  GAS STUB  DOWN SPOUT

| REVISIONS | DATE | BY |
|---|---|---|
| | | |

PLAN# 23-186

# MILL AVE. - 2-UNIT TOWNHOME : BLDG-A

## MAIN FLOOR PLAN

JWR Design, Inc.
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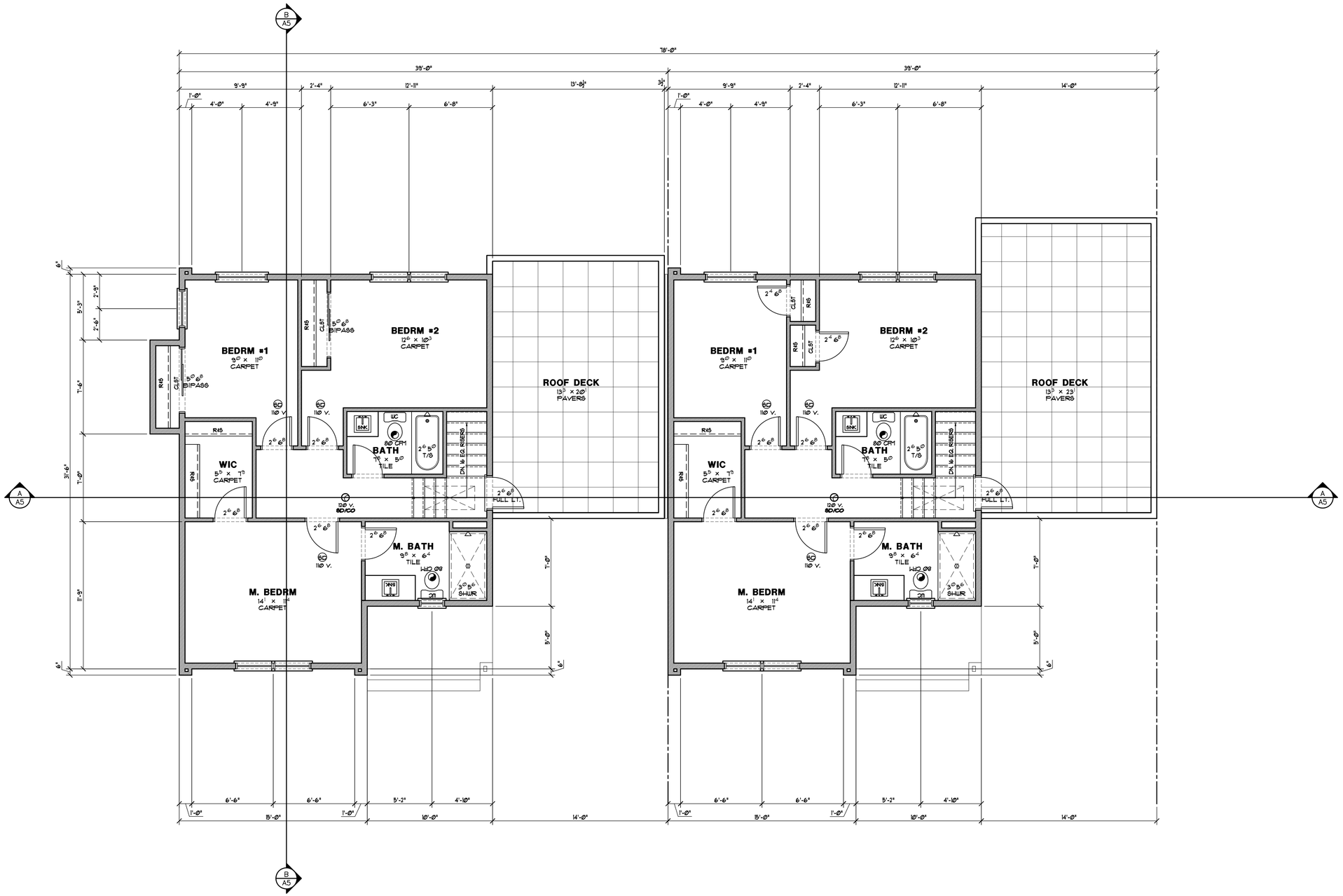
DRAWN: JSWB
DATE: 9-16-24
SCALE: AS NOTED
CHECKED: J.W.R.
SHEET: A3 OF




## SECOND FLOOR PLAN

SCALE 1/4" = 1'-0"

| REVISIONS | DATE | BY |
|---|---|---|
| | | |

PLAN#
23-186

# MILL AVE. - 2-UNIT TOWNHOME : BLDG-A

## UPPER FLOOR PLAN

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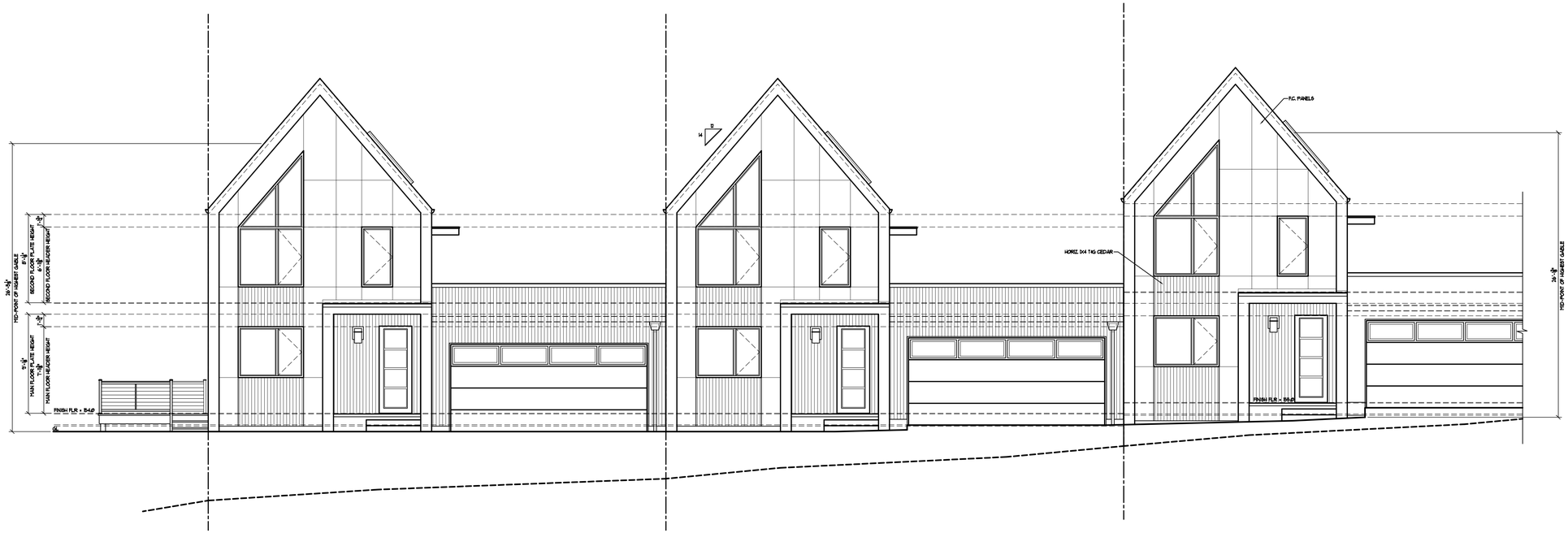
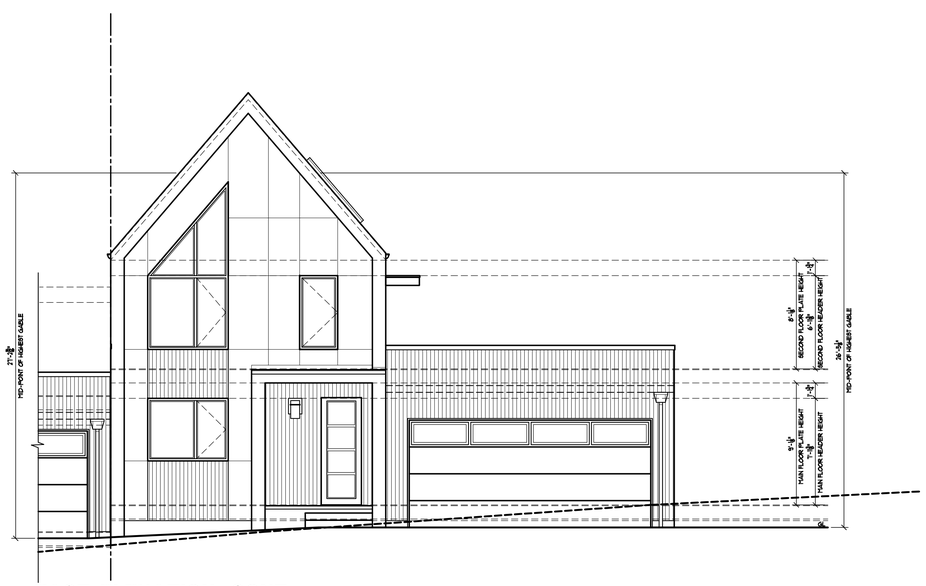
DRAWN: JSWB
DATE: 9-16-24
SCALE: AS NOTED
CHECKED: J.W.R.
SHEET: A4 OF




## PARTIAL EAST ELEVATION

SCALE 3/16" = 1'-0"




## EAST ELEVATION, CONT.

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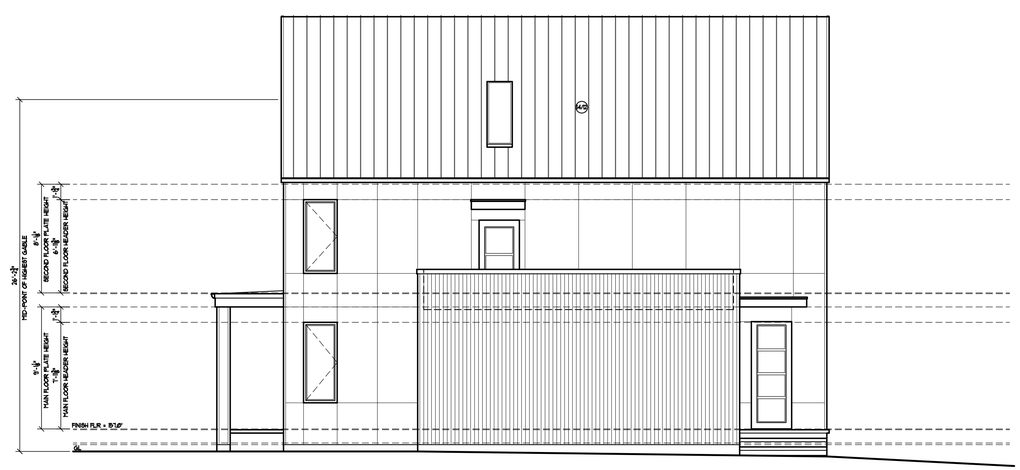


## NORTH ELEVATION

SCALE 3/16" = 1'-0"

| REVISIONS | DATE | BY |
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| | | |

PLAN# 23-186

# MILL AVE. : 3 UNIT : BUILDING E

## EXTERIOR ELEVATION

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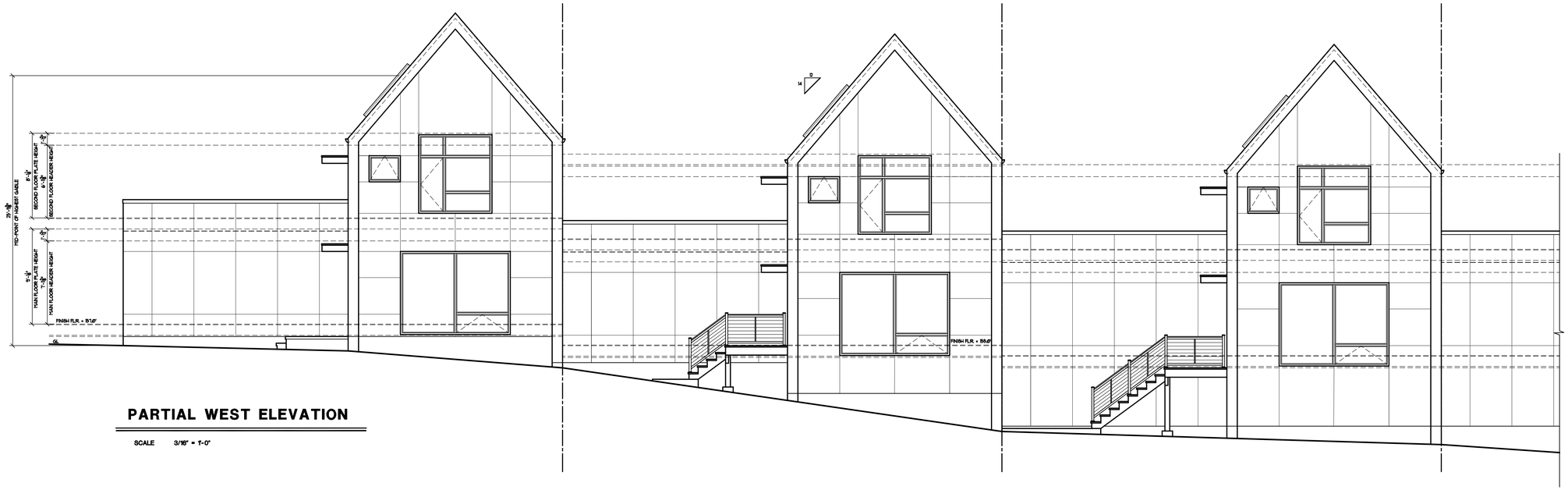
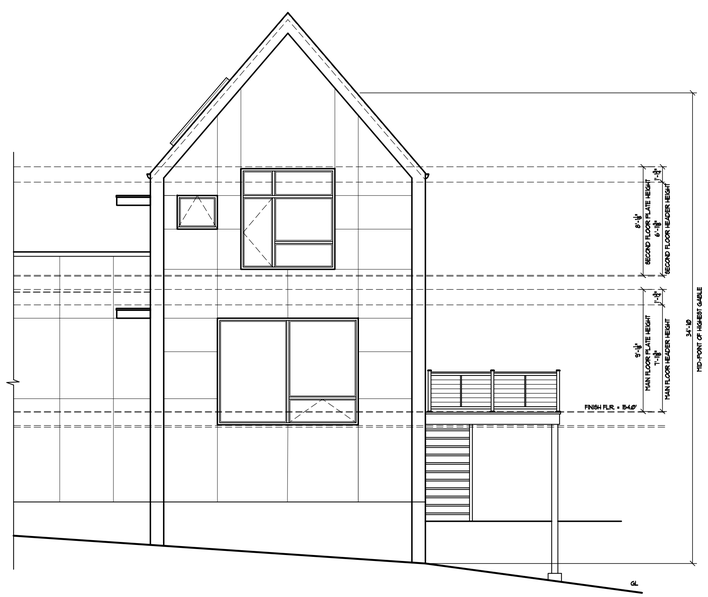
DATE 9-16-24
SCALE AS NOTED
CHECKED J.W.R.
SHEET A1 OF




## PARTIAL WEST ELEVATION

SCALE 3/16" = 1'-0"




## WEST ELEVATION, CONT.

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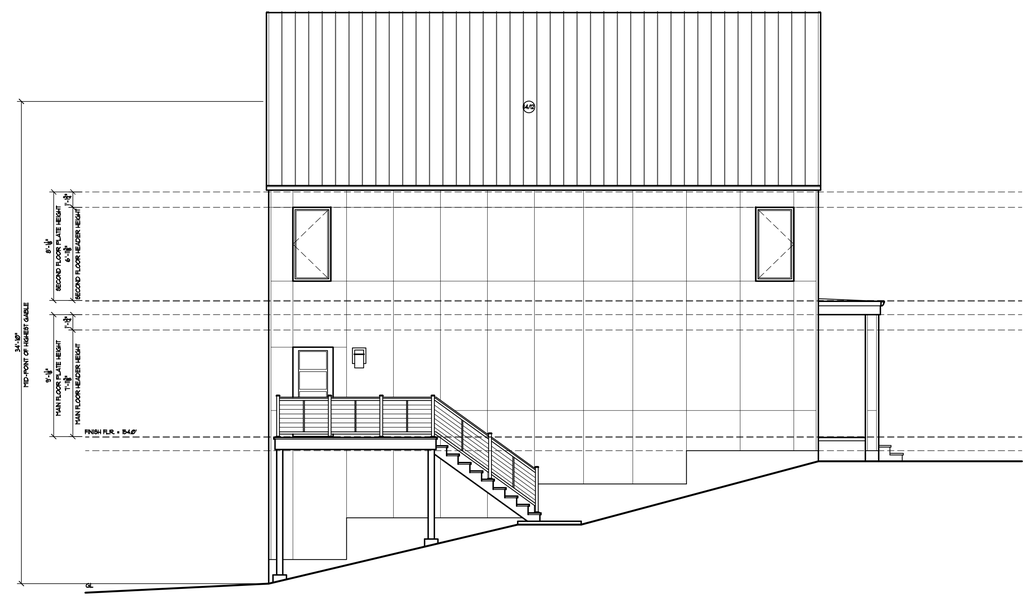


## SOUTH ELEVATION

SCALE 3/16" = 1'-0"

| REVISIONS | DATE | BY |
|---|---|---|
| | | |

PLAN# 23-186

# MILL AVE. : 3 UNIT : BUILDING E

## EXTERIOR ELEVATIONS

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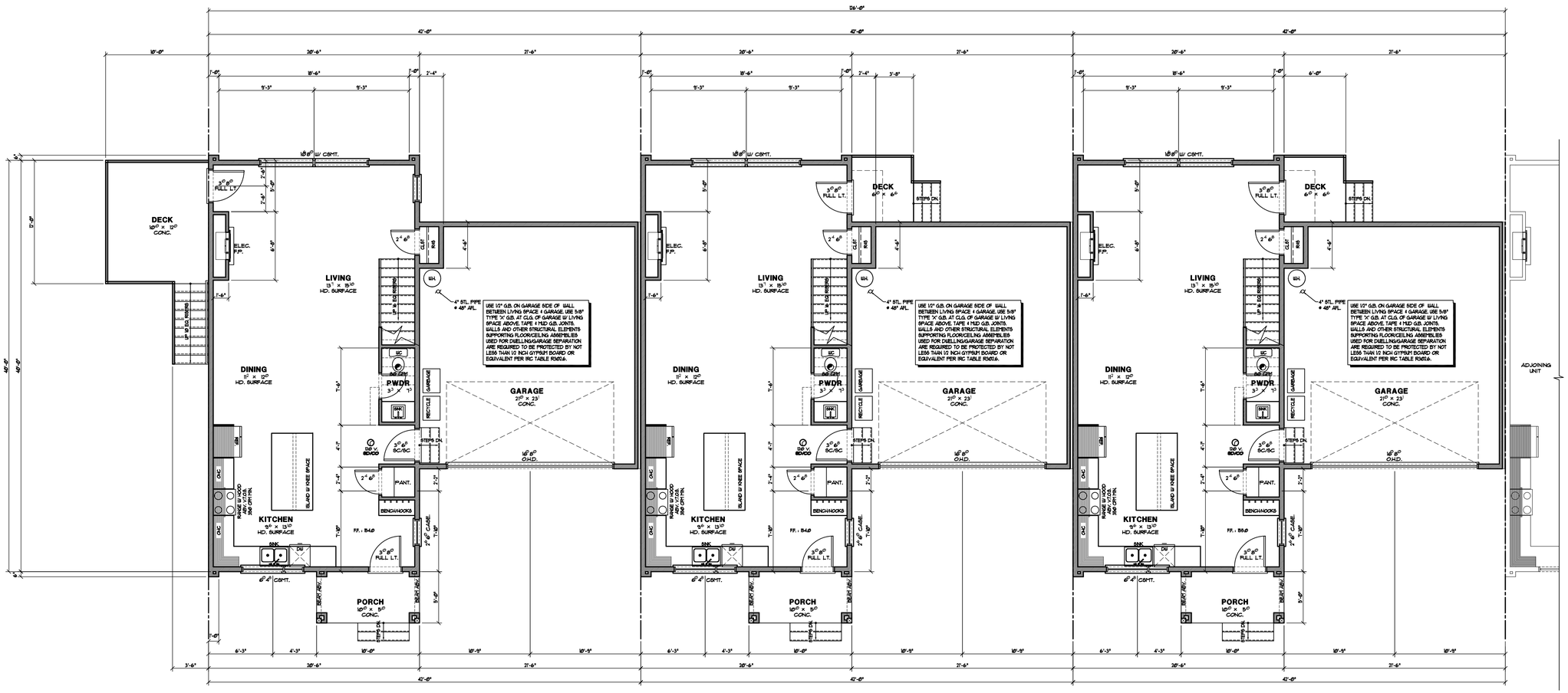
| | |
|---|---|
| DRAWN | JSWB |
| DATE | 9-16-24 |
| SCALE | AS NOTED |
| CHECKED | J.W.R. |
| SHEET | A2 OF |




| UNIT E.4 | |
|---|---|
| MAIN FLR. | 830 S.F. |
| SECOND FLR. | 774 S.F. |
| TOTAL | 1,604 S.F. |
| LOWER DECK | 120 S.F. |
| ROOF DECK | 516 S.F. |
| CVRD. PORCH | 50 S.F. |
| GARAGE | 483 S.F. |

| UNIT E.3 | |
|---|---|
| MAIN FLR. | 830 S.F. |
| SECOND FLR. | 774 S.F. |
| TOTAL | 1,604 S.F. |
| LOWER DECK | 39 S.F. |
| ROOF DECK | 516 S.F. |
| CVRD. PORCH | 50 S.F. |
| GARAGE | 483 S.F. |

| UNIT E.2 | |
|---|---|
| MAIN FLR. | 830 S.F. |
| SECOND FLR. | 774 S.F. |
| TOTAL | 1,604 S.F. |
| LOWER DECK | 39 S.F. |
| ROOF DECK | 516 S.F. |
| CVRD. PORCH | 50 S.F. |
| GARAGE | 483 S.F. |

## PARTIAL MAIN FLOOR PLAN

SCALE 3/16" = 1'-0"

NOTE: HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS. HANDRAIL HEIGHT (MEASURED VERTICALLY FROM THE SLOPED PLAN ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF RAMP SLOPE) SHALL BE NOT LESS THAN 34" & AND NOT MORE THAN 38". SPACE BETWEEN HANDRAIL AND ADJACENT WALL SHALL BE AT LEAST 1½". (IRC R311.7.8)

NOTE:
PROVIDE TEMPERED GLAZING IN ALL WINDOWS WITH EXPOSED AREAS GREATER THAN 9 S.F. AND IN WINDOWS WITH BOTTOM EDGE LESS THAN 18" ABV. FLOOR

### ABBREVIATION KEY

G.L. = GRADE LINE
S/R = SHEETROCK
BLW. = BELOW
S.F. = SQUARE FEET
R.W.L. = RAIN WATER LEADER
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FIN. FL. = FINISHED FLOOR LEVEL
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CFM = CUBIC FEET PER MINUTE (AIRFLOW)
HPWH. = HEAT PUMP WATER HEATER
C.O. = CASED OPENING
G.E.G.T. = GABLE END GIRDER TRUSS

HOSE BIBB
GAS STUB
DOWN SPOUT

| REVISIONS | DATE | BY |
|---|---|---|
| | | |

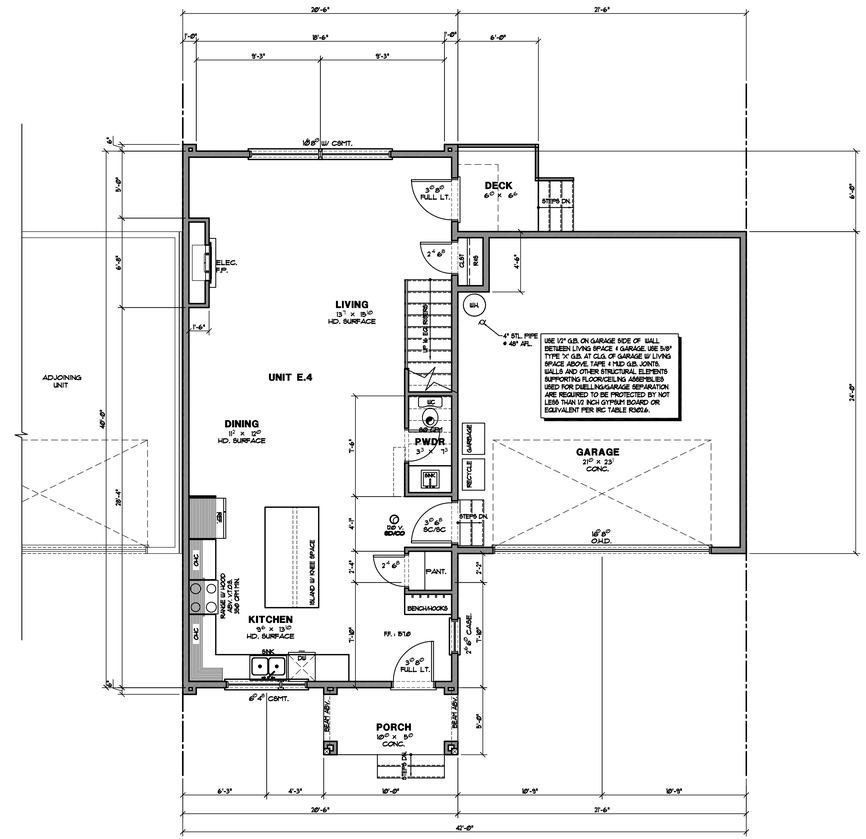
PLAN# 23-186

# MILL AVE. : 3 UNIT : BUILDING E

## MAIN FLOOR PLAN

JWR Design, Inc.
104 Front Street
Lynden, WA 98264
(360) 354-0333

DRAWN JSWB
DATE 9-16-24
SCALE AS NOTED
CHECKED J.W.R.
SHEET A3 OF




| UNIT E.1 | |
|---|---|
| MAIN FLR. | 830 S.F. |
| SECOND FLR. | 774 S.F. |
| TOTAL | 1604 S.F. |
| LOWER DECK | 39 S.F. |
| ROOF DECK | 516 S.F. |
| CVRD. PORCH | 50 S.F. |
| GARAGE | 483 S.F. |

## PARTIAL MAIN FLOOR PLAN

SCALE 3/16" = 1'-0"

| REVISIONS | DATE | BY |
|---|---|---|
| | | |

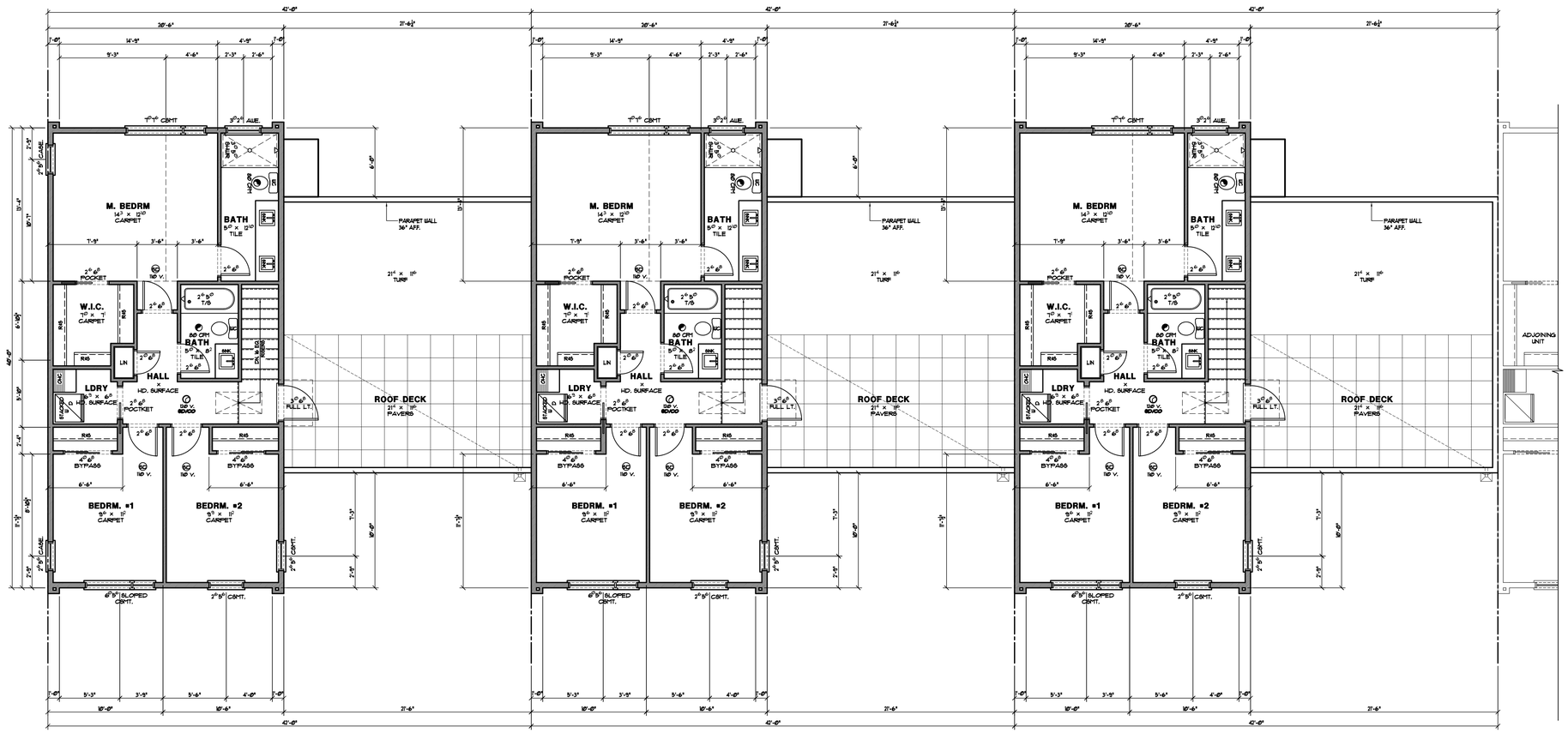
PLAN# 23-186

# MILL AVE. : 3 UNIT : BUILDING E

## SECOND FLOOR PLAN

JWR Design, Inc.
104 Front Street
Lynden, WA 98264
(360) 354-0333

| | |
|---|---|
| DRAWN | JSWB |
| DATE | 9-16-24 |
| SCALE | AS NOTED |
| CHECKED | J.W.R. |
| SHEET | A4 OF |




UNIT E.1

UNIT E.2

UNIT E.3

## PARTIAL SECOND FLOOR PLAN

SCALE 3/16" = 1'-0"

| REVISIONS | DATE | BY |
|---|---|---|
| | | |

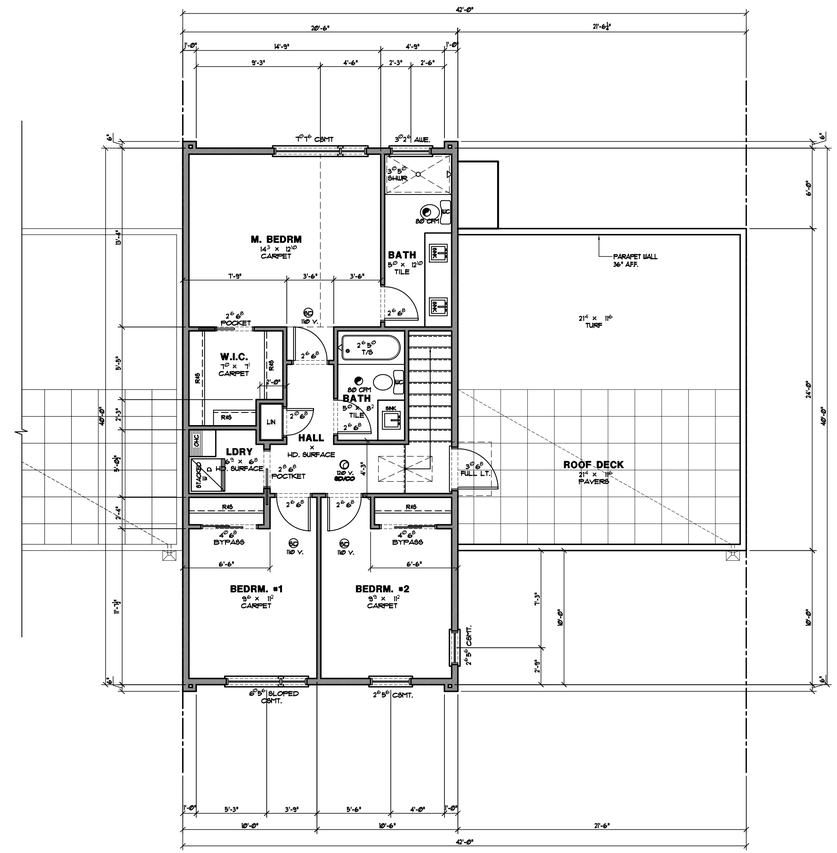
PLAN# 23-186

# MILL AVE. : 3 UNIT : BUILDING E

## SECOND FLOOR PLAN

JWR Design, Inc.
104 Front Street
Lynden, WA 98264
(360) 354-0333

| | |
|---|---|
| DRAWN | JSWB |
| DATE | 8-16-24 |
| SCALE | AS NOTED |
| CHECKED | J.W.R. |
| SHEET | A5 OF |




UNIT E.4

## PARTIAL SECOND FLOOR PLAN

SCALE 3/16" = 1'-0"

| REVISIONS | DATE | BY |
|---|---|---|
| | | |

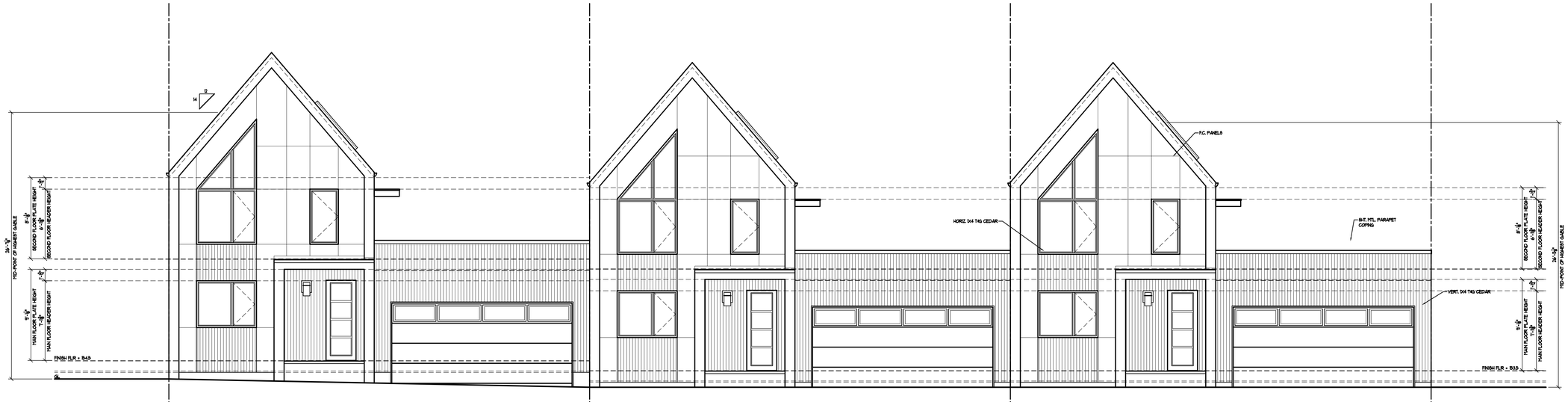
PLAN# 23-186

# MILL AVE. : 3 UNIT : BUILDING E

## SECOND FLOOR PLAN

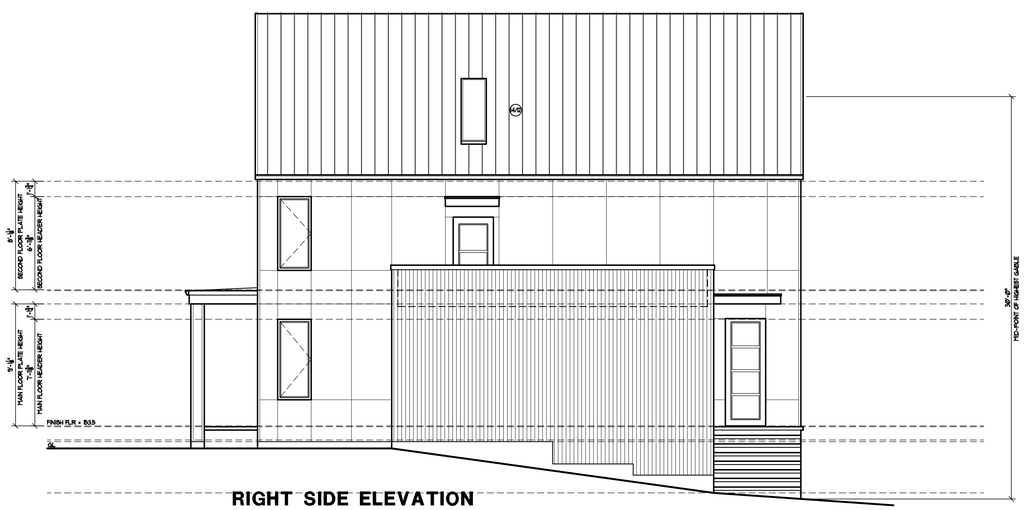
JWR Design, Inc.
104 Front Street
Lynden, WA 98264
(360) 354-0333

| | |
|---|---|
| DRAWN | JSWB |
| DATE | 8-16-24 |
| SCALE | AS NOTED |
| CHECKED | J.W.R. |
| SHEET | A6 OF |




## FRONT ELEVATION

SCALE 3/16" = 1'-0"




## RIGHT SIDE ELEVATION

SCALE 3/16" = 1'-0"

| REVISIONS | DATE | BY |
|---|---|---|
| | | |

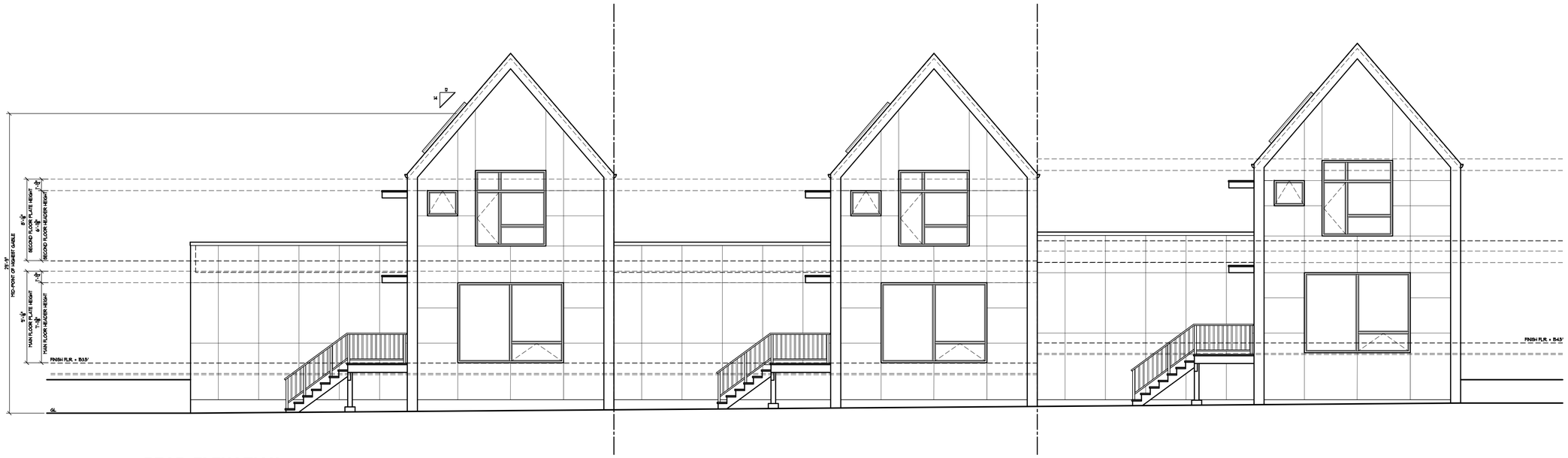
PLAN# 23-186

# MILL AVE. : 3 UNIT : BUILDING B

## EXTERIOR ELEVATION

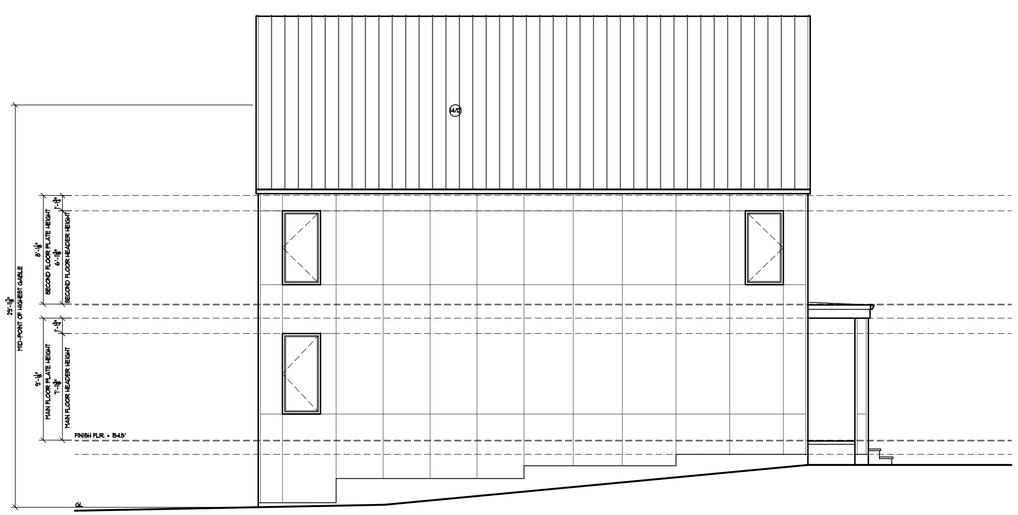
JWR Design, Inc.
104 Front Street
Lynden, WA 98264
(360) 354-0333

| | |
|---|---|
| DRAWN | JSWB |
| DATE | 9-16-24 |
| SCALE | AS NOTED |
| CHECKED | J.W.R. |
| SHEET | A1 OF |




## REAR ELEVATION

SCALE 3/16" = 1'-0"




## LEFT SIDE ELEVATION

SCALE 3/16" = 1'-0"

| REVISIONS | DATE | BY |
|---|---|---|
| | | |

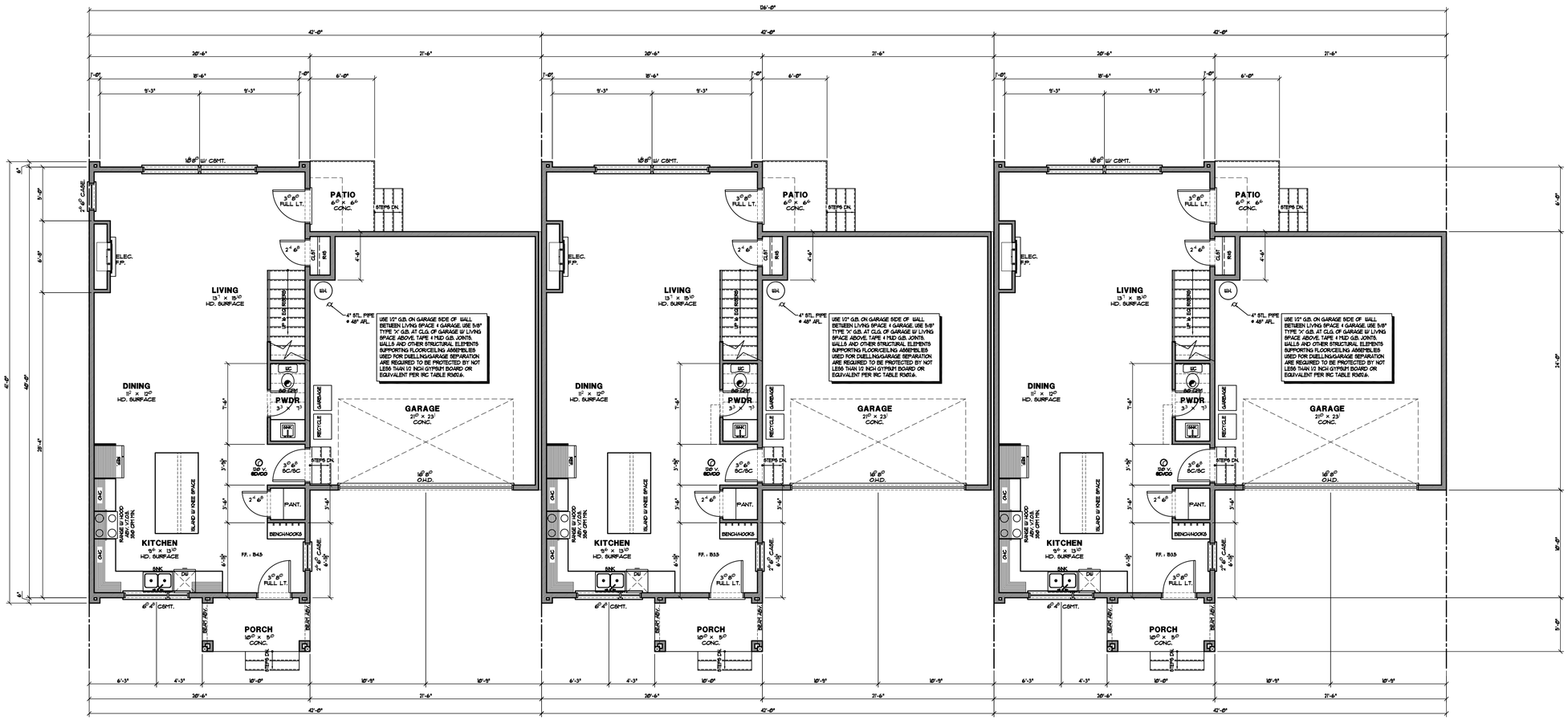
PLAN# 23-186

# MILL AVE. : 3 UNIT : BUILDING B

## EXTERIOR ELEVATIONS

JWR Design, Inc.
104 Front Street
Lynden, WA 98264
(360) 354-0333

| | |
|---|---|
| DRAWN | JSWB |
| DATE | 9-16-24 |
| SCALE | AS NOTED |
| CHECKED | J.W.R. |
| SHEET | A2 OF |




| SQUARE FOOTAGE (EA.) | |
|---|---|
| MAIN FLR. | 830 S.F. |
| SECOND FLR. | 820 S.F. |
| TOTAL | 1,650 S.F. |
| GARAGE | 499 S.F. |
| CVRD. PORCH | 50 S.F. |

| SQUARE FOOTAGE (EA.) | |
|---|---|
| MAIN FLR. | 830 S.F. |
| SECOND FLR. | 820 S.F. |
| TOTAL | 1,650 S.F. |
| GARAGE | 499 S.F. |
| CVRD. PORCH | 50 S.F. |

| SQUARE FOOTAGE (EA.) | |
|---|---|
| MAIN FLR. | 830 S.F. |
| SECOND FLR. | 820 S.F. |
| TOTAL | 1,650 S.F. |
| GARAGE | 499 S.F. |
| CVRD. PORCH | 50 S.F. |

## MAIN FLOOR PLAN

SCALE 3/16" = 1'-0"

NOTE: HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS. HANDRAIL HEIGHT (MEASURED VERTICALLY FROM THE SLOPED PLAN ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF RAMP SLOPE) SHALL BE NOT LESS THAN 34" & AND NOT MORE THAN 38". SPACE BETWEEN HANDRAIL AND ADJACENT WALL SHALL BE AT LEAST 1½". (IRC R311.7.8)

NOTE:
PROVIDE TEMPERED GLAZING IN ALL WINDOWS WITH EXPOSED AREAS GREATER THAN 9 S.F. AND IN WINDOWS WITH BOTTOM EDGE LESS THAN 18" ABV. FLOOR

ABBREVIATION KEY

| | |
|---|---|
| G.L. = GRADE LINE | G.B. = GYPBOARD |
| S/R = SHEETROCK | T.O. = TOP OF |
| BLW = BELOW | B.P. = BEARING POINT |
| S.F. = SQUARE FEET | BW = BEARING WALL |
| RWL = RAIN WATER LEADER | PT = PRESSURE TREATED |
| EW = EACH WAY | DF = DOUGLAS FIR |
| ℄ = CENTER LINE | INT. = INTERIOR |
| FIN. FL. = FINISHED FLOOR LEVEL | EXT. = EXTERIOR |
| AFL = ABOVE FLOOR LEVEL | BFL = BELOW |
| B.O. = BOTTOM OF | ABV. = ABOVE |
| S.C. = SOLID CORE | EXP. = EXPOSE |
| R.O. = ROUGH OPENING | O.T.SH. = OVER THE SHELF HEIGHT |
| O.H.D. = OVER-HEAD DOOR | S.C./ S.C. = SOLID CORE/ SELF CLOSING |
| PIC. = PICTURE | S.G.D. = SLIDING GLASS DOOR |
| CSMT. = CASEMENT | W = WASHER |
| H.V. = HORIZONTAL VENT | D = DRYER |
| TRANS. = TRANSOM (WINDOW ABOVE) | OHC = OVERHEAD CABINET |
| S.H. = SINGLE HANG (WINDOW) | AWN = AWNING (WINDOW) |
| SWF = SINGLE WHOLE FAN | CFM = CUBIC FEET PER MINUTE (AIRFLOW) |
| DV = DIRECT VENT | HPWH = HEAT PUMP WATER HEATER |
| A.A. = ATTIC ACCESS | C.O. = CASED OPENING |
| G.T. = GIRDER TRUSS | G.E.G.T. = GABLE END GIRDER TRUSS |

HOSE BIBB  GAS STUB  DOWN SPOUT

| REVISIONS | DATE | BY |
|---|---|---|
| | | |

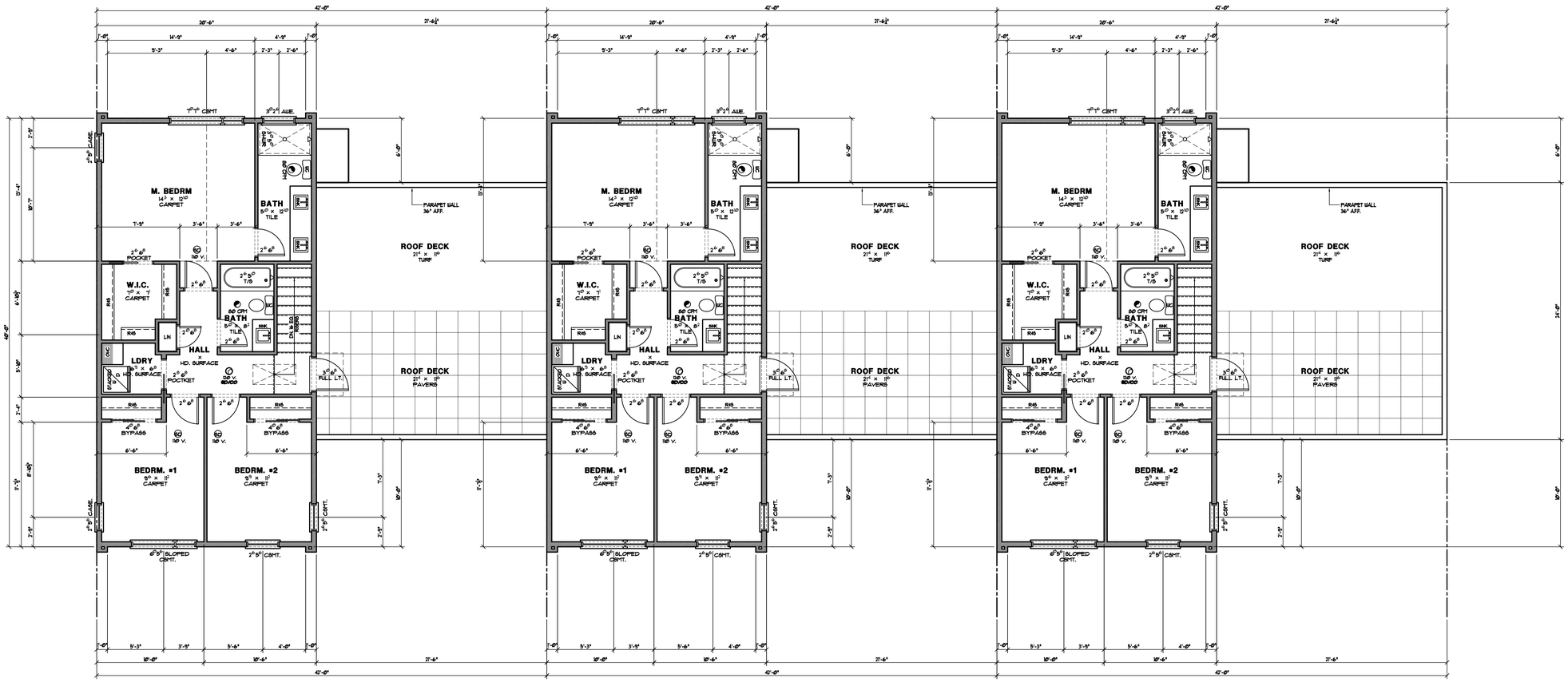
PLAN# 23-186

# MILL AVE. : 3 UNIT : BUILDING B

## MAIN FLOOR PLAN

JWR Design, Inc.
104 Front Street
Lynden, WA 98264
(360) 354-0333

DRAWN JSWB
DATE 9-16-24
SCALE AS NOTED
CHECKED J.W.R.
SHEET A3 OF




## SECOND FLOOR PLAN

SCALE 3/16" = 1'-0"

| REVISIONS | DATE | BY |
|---|---|---|
| | | |

PLAN# 23-186

# MILL AVE. : 3 UNIT : BUILDING B

## SECOND FLOOR PLAN

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(360) 354-0333

| | |
|---|---|
| DRAWN | JSWB |
| DATE | 8-16-24 |
| SCALE | AS NOTED |
| CHECKED | J.W.R. |
| SHEET | A4 OF |